



Planning Director Staff Report Hearing on August 24, 2023

County of Ventura • Resource Management Agency

800 S. Victoria Avenue, Ventura, CA 93009 • (805) 654-2478 • www.vcrma.org/divisions/planning

AT&T SCE PLEASANT VALLEY MODIFIED CONDITIONAL USE PERMIT (CUP) CASE NO. PL22-0158 (FORMERLY LU11-0102)

A. PROJECT INFORMATION

1. **Request:** The applicant requests approval of a Minor Modification of an existing Conditional Use Permit (CUP) to authorize the modification, continued use, operation and maintenance of a Wireless Communication Facility (WCF) for a 10-year time period.
2. **Applicant:** AT&T, 12900 Park Plaza Drive, Cerritos, CA 90307
3. **Property Owner:** Southern California Edison, P.O. Box 800, Rosemead, CA 91770
4. **Applicant's Representative:** Qualtek Wireless c/o Albert Sandoval, 10 Pasteur, Suite 100, Irvine, CA 92618
5. **Decision-Making Authority:** Pursuant to the Ventura County Non-Coastal Zoning Ordinance (NCZO) (Section 8105-4), the Planning Director is the decision-maker for the requested minor modification to the CUP.
6. **Project Site Size, Location, and Parcel Number:** The 26.06-acre property is located at 5498 Edison Drive, near the intersection with East Pleasant Valley Road, near the City of Oxnard, in the unincorporated area of Ventura County. The Tax Assessor's parcel number for the parcel that constitute the project site is 223-0-030-145.
7. **Project Site Land Use and Zoning Designations:**
 - a. Countywide General Plan Land Use Map Designation: ECU-Agricultural
 - b. Zoning Designation: AE-40 ac (Agricultural Exclusive, 40-acre minimum lot size)
8. **Adjacent Zoning and Land Uses/Development:**

| Location in Relation to the Project Site | Zoning | Land Uses/Development |
|--|--|-------------------------|
| North | City of Oxnard | Residential |
| East | AE-40 ac. (Agricultural Exclusive, 40-acre minimum lot size) | Agricultural Production |

| Location in Relation to the Project Site | Zoning | Land Uses/Development |
|--|--------------------------|---|
| South | City of Oxnard/AE-40 ac. | Industrial Uses/Agricultural Production |
| West | City of Oxnard | Industrial Uses |

9. History: On November 13, 2012, the Planning Director granted CUP LU11-0102 for the construction, operation, and maintenance of the subject communications facility. The facility was constructed as a 100-foot-tall faux Eucalyptus Tree with and equipment located within a lease area surrounded by a concrete masonry unit (CMU) wall at the base of the facility. LU11-0102 had an expiration date of November 28, 2022.

10. Project Description: The applicant requests that a modified CUP be granted for the continued use, modification, operation and maintenance of an existing AT&T WCF for an additional 10-year period. The existing facility is comprised of the following components:

- 100-foot-tall faux Eucalyptus Tree antenna support structure;
- Twelve (12) 8-foot-tall panel antennas mounted on the structure;
- 230-square-foot indoor equipment shelter with four (4) equipment cabinets;
- 880-square-foot lease area enclosed with a CMU wall.

The modification approved with this time extension consists of (Exhibit 6):

- The rebranch of the existing faux tree to better resemble a Eucalyptus tree;
- The addition of faux ivy to screen the equipment enclosure and prevent graffiti; and
- The planting of six (6) canopy screening trees.

The WCF is unmanned, except for occasional periodic maintenance visits, and would continue to operate 24 hours per day. The unmanned facility does not require water to operate. No exterior lighting or grading is proposed.

B. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

Pursuant to CEQA (Public Resources Code Section 21000 et seq.) and the CEQA Guidelines (Title 14, California Code of Regulations, Division 6, Chapter 3, Section 15000 et seq.), the proposed project is subject to environmental review.

The State Legislature through the Secretary for Resources has found that certain classes of projects are exempt from CEQA environmental impact review because they do not have a significant effect on the environment. These projects are declared to be categorically exempt from the requirement for the preparation of environmental impact documents. The proposed project includes the continued use, operation, and maintenance of an existing WCF. The proposed project qualifies for Class 1 Categorical Exemption pursuant to Section 15301 (Existing Facilities) of the CEQA Guidelines.

Therefore, this project is categorically exempt pursuant to Section 15301 of the CEQA Guidelines.

C. CONSISTENCY WITH THE GENERAL PLAN

The proposed project has been analyzed and determined to be consistent with all applicable General Plan policies. A consistency analysis which evaluates the project’s consistency with the policies of the General Plan is included as Exhibit 4 of this staff report.

D. ZONING ORDINANCE COMPLIANCE

The proposed project is subject to the requirements of the Ventura County NCZO.

Pursuant to the requirements of the Ventura County NCZO (Section 8105-4), the proposed use is allowed in the AE zone district with the granting of a CUP. Upon the granting of the modified CUP, the proposed project would comply with the requirements of the Ventura County NCZO.

The proposed WCF is subject to the special use standards of the Ventura County NCZO (Section 8107-45.4). Table 1 lists the applicable special use standard and a description of whether the proposed project complies with the special use standards.

Table 1 – Special Use Standards Consistency Analysis

| Special Use Standard | Complies? |
|--|---|
| <p>Section 8107-45.4(f)(4)(c), Maximum Antenna Height:</p> <p><i>A stealth facility that exceeds 80 feet in height shall be considered a non-stealth facility for entitlement processing under Section 8107-45. However, stealth design features may be included in the wireless communication facility to blend the facility with the surrounding environment.</i></p> | <p>Yes, the existing facility is considered non-stealth due to the height exceeding 80-feet. Design features have been included in the WCF to help blend the facility with the surrounding environment.</p> |
| <p>Section 8107-45.4(n), Accessory Equipment:</p> <p><i>All accessory equipment associated with the operation of a wireless communication facility shall be located and screened to prevent the facility from being prominently visible from a public viewpoint to the maximum extent</i></p> | <p>Yes, none of the accessory equipment is visible from offsite.</p> |

Table 1 – Special Use Standards Consistency Analysis

| Special Use Standard | Complies? |
|--|--|
| <i>feasible.</i> | |
| <p>Section 8107-45.4(o), Colors and Materials:</p> <p><i>All wireless communication facilities shall use materials and colors that blend in with the natural or man-made surroundings. Highly reflective materials are prohibited.</i></p> | <p>Yes, the facility matches the color and look of the surrounding trees. No reflective materials will be used.</p> |
| <p>Section 8107-45.4(p), Noise:</p> <p><i>All wireless communication facilities shall be operated and maintained to comply at all times with the noise standards outlined in Section 2.16 of the Ventura County General Plan Goals, Policies, and Programs.</i></p> | <p>Yes, the WCF will always be operated and maintained to comply with the Ventura County noise standards.</p> |
| <p>Section 8107-45.4(q), Landscape and Screening:</p> <p><i>The permit shall plant, irrigate, and maintain additional landscaping during the life of the permit when landscaping is deemed necessary to screen the wireless communication facility from being prominently visible from a public viewpoint. New landscaping shall not incorporate and invasive species, as defined by the California Invasive Plant Council (Cal-IPC) and shall be in conformance with Section 8106-8.2.5.</i></p> | <p>Yes, the facility will be conditioned to screen the WCF from surrounding public viewpoints by newly planted canopy trees.</p> |
| <p>Section 8107-45.4(r), Security:</p> <ol style="list-style-type: none"> <i>1. Each Facility shall be designed to prevent unauthorized access, climbing, vandalism, graffiti and other conditions that would result in hazardous situations or visual blight. The approving authority may require the provision of warning signs, fencing, anti-climbing devices, or other techniques to prevent unauthorized access and vandalism.</i> <i>2. All fences shall be constructed of materials and colors that blend in with the existing setting. The use of a chain link fence is prohibited within areas designated as Urban and Existing Community in the General Plan, and areas that are prominently visible from a public viewpoint, unless the chain link fence is fully screened.</i> | <p>Yes, the facility is enclosed within a CMU wall with faux ivy attached and surrounding the entire facility which prevents access and vandalism to the project site.</p> |
| <p>Section 8107-45.4(s), Lighting:</p> <ol style="list-style-type: none"> <i>1. No facility may be illuminated unless specifically required by the FAA or other government agency.</i> <i>2. Any necessary security lighting shall be down-shielded and controlled to minimize glare or light</i> | <p>Yes, the proposed WCF is not illuminated.</p> |

Table 1 – Special Use Standards Consistency Analysis

| Special Use Standard | Complies? |
|--|--|
| <p><i>levels directed at adjacent properties and to minimize impacts to wildlife.</i></p> | |
| <p>Section 8107-45.4(t), Signage:</p> <p><i>A permanent, weather-proof identification sign, subject to Planning Director approval, shall be displayed in a prominent location such as on the gate or fence surrounding the wireless communication facility or directly on the facility. The sign must identify the facility operator(s) and type of use, provide the operator’s address, FCC-adopted standards, and specify a 24-hour telephone number at which the operator can be reached during an emergency.</i></p> | <p>Yes, the existing WCF will be surrounded by a CMU wall with signage indicating all necessary information related to the operation of the facility.</p> |
| <p>Section 8107-45.4(u), Access Roads:</p> <ol style="list-style-type: none"> 1. <i>Where feasible, wireless communication facility sites shall be accessed by existing public or private access roads and easements.</i> 2. <i>Wireless communication facility sites shall minimize the construction of new access roads, particularly when such roads are located in areas with steep slopes, agricultural resources, or biological resources as determined by the County’s Initial Study Assessment Guidelines. When required, new access roads shall be designed to meet standards established by the Ventura County Public Works Agency and Ventura County Fire Department District.</i> | <p>Yes, the existing WCF is accessed by an existing public road to a private driveway, maintained by the property owner, to the WCF location. No new roads are proposed with this project.</p> |

E. CUP FINDINGS AND SUPPORTING EVIDENCE

The Planning Director must make certain findings in order to grant a CUP pursuant to Section 8111-1.2.1.1 of the Ventura County NCZO. The ability to make the required findings is evaluated below.

1. **The proposed development is consistent with the intent and provisions of the County's General Plan and of Division 8, Chapters 1 and 2, of the Ventura County Ordinance Code [Section 8111-1.2.1.1.a].**

Based on the information and analysis presented in Exhibit 4 and Section D of this staff report, the finding that the proposed development is consistent with the intent and provisions of the County's General Plan and of Division 8, Chapters 1 and 2, of the Ventura County Ordinance Code can be made.

2. The proposed development is compatible with the character of surrounding, legally established development [Section 8111-1.2.1.1.b].

As discussed above, the existing stealth WCF is designed as a faux Eucalyptus tree and located on a developed piece of property with Southern California Edison transmission lines. There are no proposed operational changes to the existing WCF and minor physical changes to help better screen the facility. Based on the design and location of the project, it will be in character with surrounding legally established development.

Based on the discussion above, this finding can be made.

3. The proposed development would not be obnoxious or harmful, or impair the utility of neighboring property or uses [Section 8111-1.2.1.1.c].

The proposed project involves the continued use, modification, operation, and maintenance of an existing stealth WCF consisting of a 100-foot faux Eucalyptus Tree and associated equipment located within a CMU wall lease area. The WCF does not generate substantial noise or pose a health threat. The facility is entirely contained within a fenced area near the west side of the subject parcel. No adverse effect on neighboring property or uses has been identified. Additionally, the project is conditioned to identify a contact person for the timely resolution of complaints.

Based on the discussion above, this finding can be made.

4. The proposed development would not be detrimental to the public interest, health, safety, convenience, or welfare [Section 8111-1.2.1.1.d].

The WCF does not cause any nuisances or safety hazards. The facility is existing, and all equipment associated with the WCF is contained within a fenced area. All cabling has been installed underground from the equipment shelter to the antenna poles. The WCF is unmanned and does not generate substantial noise. There are no proposed operational changes to the existing WCF and minor physical changes to help better screen the facility

Based on the discussion above, this finding can be made.

5. The proposed development, if allowed by a Conditional Use Permit, is compatible with existing and potential land uses in the general area where the development is to be located [Section 8111-1.2.1.1.e].

The existing stealth facility blends in with the surrounding environment. There are no proposed operational changes to the existing WCF and minor physical changes to help better screen the facility and, therefore, the character of the site would not change. The proposed project does not affect any surrounding land

uses, and the project is not sensitive to impacts from these uses. No new effects on the surrounding agriculturally zoned parcels would occur with this modification for an additional 10 years of use.

Based on the discussion above, this finding can be made.

6. The proposed development will occur on a legal lot [Section 8111-1.2.1.1f].

The subject APN is comprised of a legal lot shown as Parcel C of a map filed November 1, 1968 in Book 4, Page 83 of Parcel Maps in the office of the County Recorder of Ventura County. The map was approved and recorded in compliance with the Subdivision Map Act and Ventura County Subdivision Ordinance.

Based on the discussion above, this finding can be made.

7. The proposed development is approved in accordance with the California Environmental Quality Act and all other applicable laws.

As discussed in Section B above, the CUP modification involves the continued use of an existing WCF on the subject property. The project qualifies for a Class 1 Categorical Exemption pursuant to Section 15301 (Existing Facilities) of the CEQA Guidelines.

Based on the discussion above, this finding can be made.

8. Development within any overlay zone having specific development standards must comply with such standards [Section 8111-1.2.1.4 and Article 9].

The proposed project is a renewal of an existing CUP for an additional 10-year period. There are no proposed operational changes to the existing WCF and minor physical changes to help better screen the facility

Based on the discussion above, this finding can be made.

9. The establishment or maintenance of this use will not significantly reduce, restrict or adversely affect agricultural resources or the viability of agricultural operations in the area [Section 8111-1.2.1.2.a].

The periodic maintenance of the WCF will have no impact on the agricultural operations on site. The project location was chosen to not adversely affect agricultural resources or the viability of agricultural operations in the immediate area. No new impacts to agriculturally zoned properties are anticipated the proposed project.

Based on the discussion above, this finding can be made.

F. PLANNING DIRECTOR HEARING NOTICE, PUBLIC COMMENTS, AND JURISDICTIONAL COMMENTS

The Planning Division provided public notice regarding the Planning Director hearing in accordance with the Government Code (Section 65091), Ventura County NCZO (Section 8111-3.1). The Planning Division mailed notice on August 11, 2023 to owners of property within 300 feet of the property on which the project site is located and placed a legal ad in the Ventura County Star. Comments were received from the City of Oxnard related to the addition of screening trees to help block the facility from viewpoints along Pleasant Valley Road. The project has been conditioned to include additional landscaping in the form of six (6) canopy trees to help the facility blend into the surroundings and enhance the view from the public roadway.

G. RECOMMENDED ACTIONS

Based upon the analysis and information provided above, Planning Division Staff recommends that the Planning Director take the following actions:

1. **CERTIFY** that the Planning Director has reviewed and considered this staff report and all exhibits thereto, and has considered all comments received during the public comment process;
2. **FIND** that this project is categorically exempt from CEQA pursuant to Section 15301 of the CEQA Guidelines.
3. **MAKE** the required findings to grant a CUP pursuant to Section 8111-1.2.1.1 of the Ventura County NCZO, based on the substantial evidence presented in Section E of this staff report and the entire record;
4. **GRANT** the requested CUP Modification (Case No. PL22-0158), subject to the conditions of approval (Exhibit 5).
5. **SPECIFY** that the Clerk of the Planning Division is the custodian, and 800 S. Victoria Avenue, Ventura, CA 93009 is the location, of the documents and materials that constitute the record of proceedings upon which this decision is based.

The decision of the Planning Director is final unless appealed to the Planning Commission within 10 calendar days after the permit has been approved, conditionally approved, or denied (or on the following workday if the 10th day falls on a weekend or holiday). Any aggrieved person may file an appeal of the decision with the Planning Division. The Planning Division shall then set a hearing date before the Planning Commission to review the matter at the earliest convenient date.

If you have any questions concerning the information presented above, please contact Thomas Chaffee at (805) 654-2406 or Thomas.Chaffee@ventura.org.

Prepared by:

Reviewed by:

Thomas Chaffee

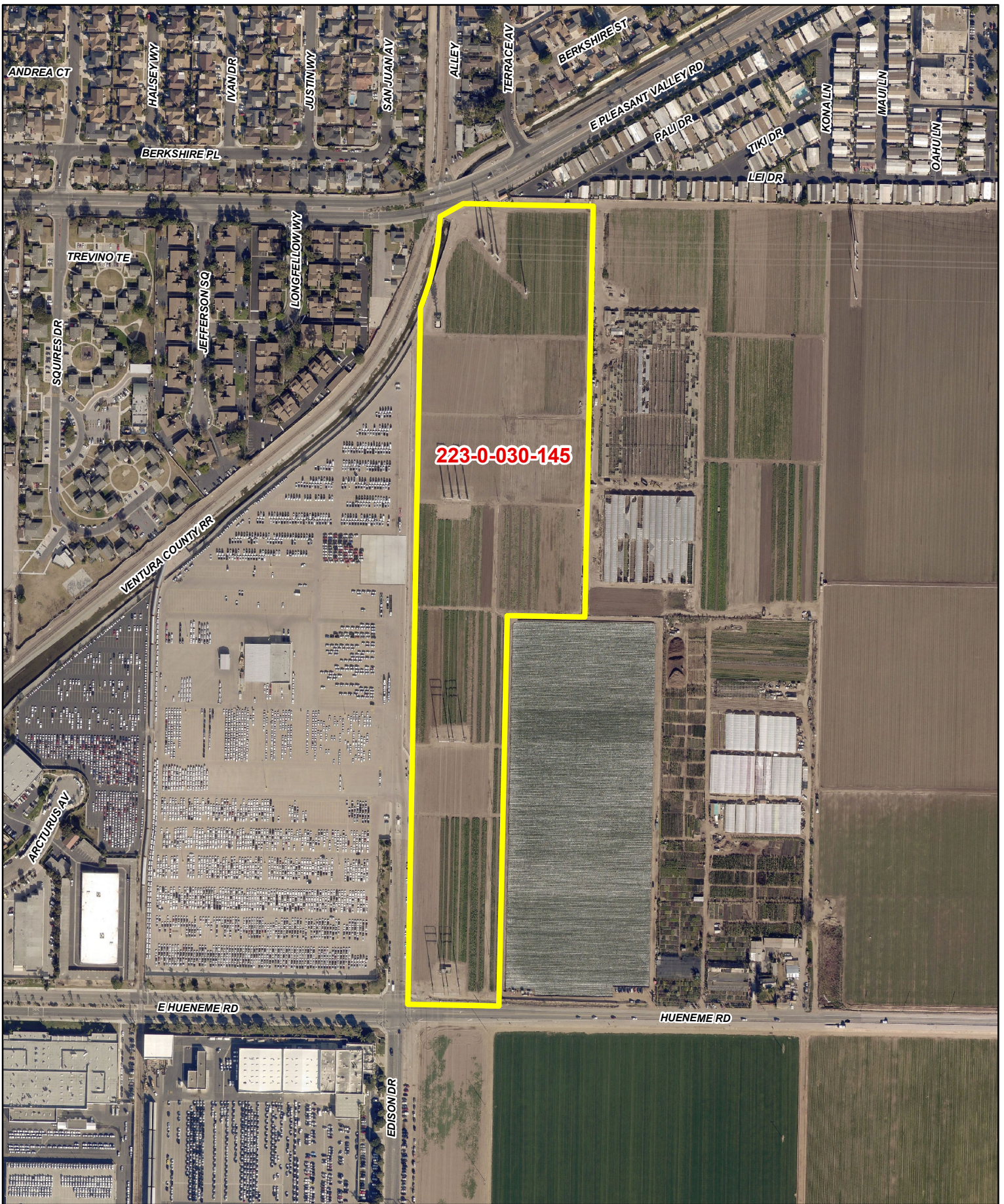
M Fogg

Thomas Chaffee, Case Planner
Commercial/Industrial Permits Section
Ventura County Planning Division

Mindy Fogg, Manager
Commercial/Industrial Permits Section
Ventura County Planning Division

EXHIBITS

- Exhibit 2 Maps
- Exhibit 3 Site Plans
- Exhibit 4 General Plan Consistency Analysis
- Exhibit 5 Conditions of Approval
- Exhibit 6 Photo Simulations



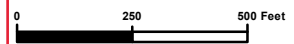
223-0-030-145



Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
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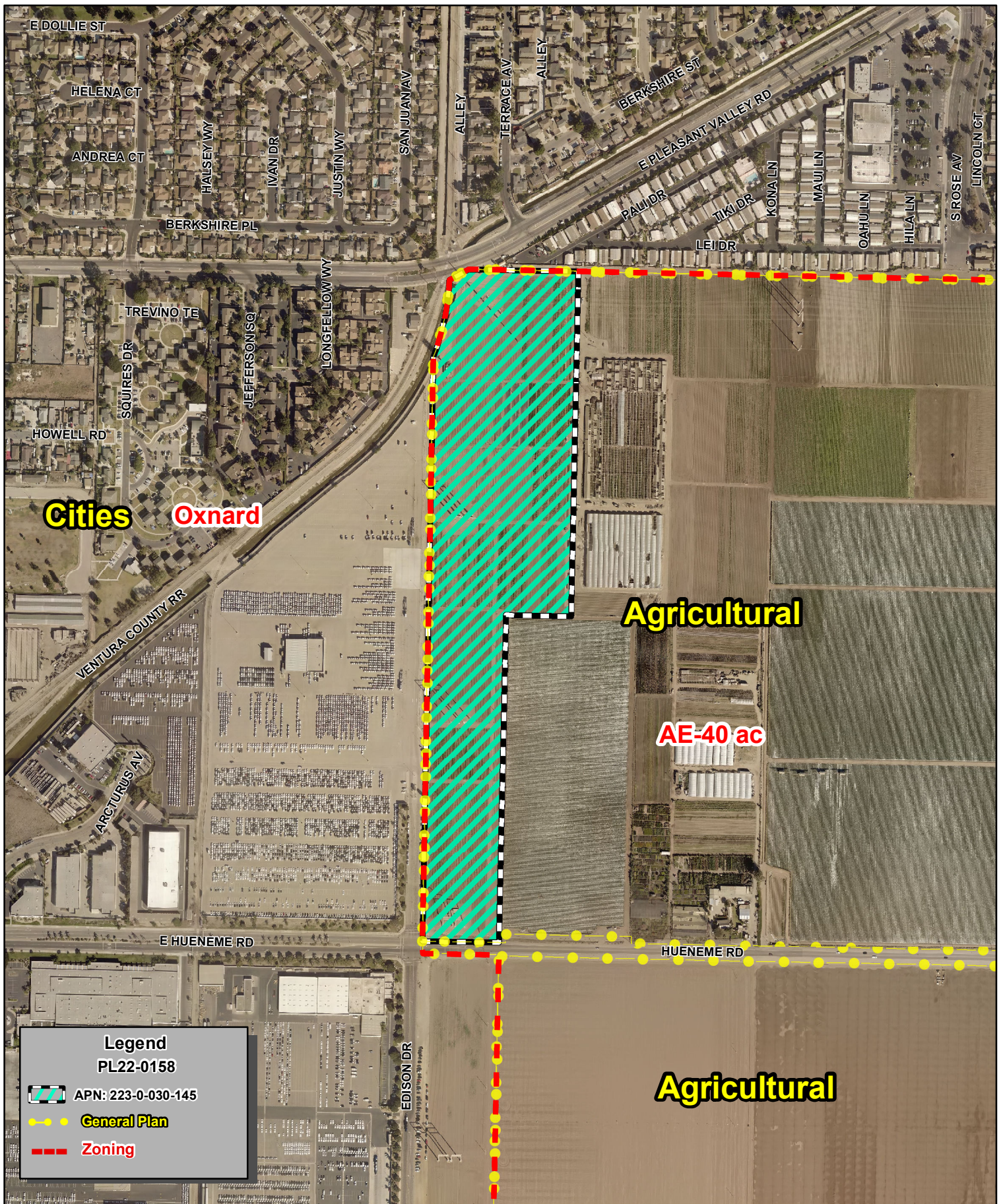


County of Ventura
 Planning Director Hearing
 Case No. PL22-0158
 Exhibit 2 - Maps



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does no warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.

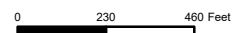




Ventura County California
 Resource Management Agency
 GIS Development & Mapping Services
 Map Created on 07-12-2023
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County of Ventura
 Planning Director Hearing
 PL22-0158
 General Plan & Zoning Map



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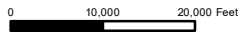
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community



Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
 Map created on 07-12-2023



**County of Ventura
 Planning Director Hearing
 APN: 223-0-030-145
 PL22-0158
 Location Map**



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ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2016 CALIFORNIA ADMINISTRATIVE CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA ELECTRIC CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA FIRE CODE
- ANY LOCAL BUILDING CODE AMENDMENTS TO THE ABOVE
- CITY/COUNTY ORDINANCES

HANDICAP REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE STATE CODE PART 2, TITLE 24, CHAPTER 11B, SECTION 1103B.

ENGINEERING

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

GENERAL NOTES



PROPERTY OWNER: SOUTHERN CALIFORNIA EDISON (SCE)
ADDRESS: 4900 RIVERGRADE RD. IRWINDALE, CA 91706
CONTACT: SCOTT HANEY
EMAIL: scott.haney@sce.com
PHONE: (626) 688-9344

APPLICANT: AT&T
ADDRESS: 1452 EDINGER AVE. TUSTIN, CA 92780

LATITUDE (NAD 83): 34.15365° N
 34° 09' 13.15" N

LONGITUDE (NAD 83): -119.1663° W
 -119° 09' 58.83" W

LONGITUDE/LATITUDE TYPE: NAD 83

APN #: 2230-030-145

ZONING JURISDICTION: COUNTY OF LOS ANGELES

CURRENT ZONING: B

GROUND ELEVATION (NAVD 88): ±18.6' AMSL

EXISTING USE: UNMANNED TELECOMMUNICATIONS FACILITY

SITE INFORMATION

PROJECT MANAGER: AT&T
 1452 EDINGER AVE. TUSTIN, CA 92780
CONTACT: RYAN YOUNG
PHONE: (714) 488-4029
EMAIL: ry456p@att.com

ENGINEER: EUKON
 630 S. GRAND, SUITE 101 SANTA ANA, CA 92705
CONTACT: HUMBERTO TAPIA
PHONE: (949) 553-8566
EMAIL: humberto.tapia@eukongroup.com

LEASING: EUKON
 630 S. GRAND, SUITE 101 SANTA ANA, CA 92705
CONTACT: SAMANTHA KAFOVALU
EMAIL: samantha.kafovalu@eukongroup.com

ZONING: EUKON
 630 S. GRAND, SUITE 101 SANTA ANA, CA 92705
CONTACT: SAMANTHA KAFOVALU
EMAIL: samantha.kafovalu@eukongroup.com

RF ENGINEER: AT&T
 1452 EDINGER AVE. TUSTIN, CA 92780
CONTACT: JAWAD AHMED
PHONE: (714) 299-9732
EMAIL: ja8708@att.com

CONSTRUCTION: ERICSSON
 330 COMMERCE IRVINE, 330 92602
CONTACT: JUSTIN RYNEARSON
PHONE: (408) 621-1782
EMAIL: justin.rynearson@ericsson.com

PROJECT TEAM

SITE NUMBER: CSL01474 (VN0274)
SITE NAME: SCE PLEASANT VALEY RD.



PROJECT: LTE-5C/6C/7C/4T4R
SITE TYPE: SCE PLEASANT VALEY RD
SITE ADDRESS: 5498 EDISON DR.

OXNARD, CA 93033

DISTRICT/ZONE: B

LTE-5C PACE#: MRLOS040720 / PA#: 3551A0BL19
LTE-6C PACE#: MRLOS040333/ PA#: 3551A0BL1P
LTE-7C PACE#: MRLOS039660/ PA#: 3551A0BNB3
4T4R-PCS PACE#: MRLOS040626/ PA#: 3551A0BM0L



DIRECTIONS FROM AT&T OFFICE: HEAD NORTHEAST. TURN LEFT TOWARD AT&T. TURN RIGHT ONTO AT&T. TURN LEFT AT THE 1ST CROSS STREET ONTO EDINGER AVE. TURN LEFT ONTO THE STATE ROUTE 55 S RAMP. MERGE ONTO CA-55 S. TAKE EXIT 6A TO MERGE ONTO I-405 N. KEEP LEFT AT THE FORK TO STAY ON I-405 N. TAKE THE EXIT ONTO US-101 N TOWARD VENTURA. TAKE EXIT 53B TOWARD LEWIS ROAD/ CALIFORNIA 34. SHARP RIGHT ONTO E DAILY DR (SIGNS FOR LEWIS RD/ CA-34). TURN RIGHT AT THE 1ST CROSS STREET ONTO N LEWIS RD. CONTINUE ONTO E HUENEME RD. TURN RIGHT ONTO EDISON DR. ARRIVE AT 5498 EDISON DR., OXNARD, CA 93033. SITE WILL BE ON THE RIGHT.

DRIVING DIRECTIONS

IF USING 11"X17" PLOT, DRAWINGS WILL BE HALF SCALE

CONSTRUCTION DRAWING

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

| APPROVED BY: | INITIALS: | DATE: |
|---------------------------------|-----------|-------|
| AT&T RF ENGINEER: _____ | | |
| AT&T OPERATIONS: _____ | | |
| SITE ACQUISITION MANAGER: _____ | | |
| PROJECT MANAGER: _____ | | |
| ZONING VENDOR: _____ | | |
| LEASING VENDOR: _____ | | |
| CONSTRUCTION MANAGER: _____ | | |
| A/E MANAGER: _____ | | |
| PROPERTY OWNER: _____ | | |

APPROVALS

AT&T WIRELESS PROPOSES TO MODIFY AN EXISTING WIRELESS INSTALLATION. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE AND REPLACE (3) EXISTING PANEL ANTENNAS WITH (3) NEW PANEL ANTENNAS AT EXISTING MONOEUCALYPTUS
- REMOVE (3) EXISTING RRUS-11+A2 MODULES ON EXISTING MONOEUCALYPTUS
- REMOVE (2) DUS-41s IN EXISTING LTE RACK AT GRADE
- INSTALL (3) NEW RRUS-32 B66 ON EXISTING MONOEUCALYPTUS
- INSTALL (3) NEW RRUS-B14 4478 ON EXISTING MONOEUCALYPTUS
- INSTALL (9) NEW RRUS-12 ON EXISTING MONOEUCALYPTUS
- INSTALL (2) NEW DC6 SURGE SUPPRESSERS ON EXISTING MONOEUCALYPTUS
- INSTALL (2) NEW BBU 5216 AT EXISTING LTE RACK AT GRADE
- INSTALL (1) NEW DC TO DC CONVERTER IN EXISTING LTE RACK AT GRADE
- INSTALL (4) NEW CONVERTER MODULES
- INSTALL (3) NEW RECTIFIERS ON EXISTING POWER PLANT

PROJECT DESCRIPTION

| SHEET | DESCRIPTION | REV. |
|-------|---|------|
| T-1 | TITLE SHEET | 1 |
| T-2 | GENERAL NOTES, LEGEND AND ABBREVIATIONS | 1 |
| T-3 | GENERAL SIGNAGE | 1 |
| A-1 | SITE PLAN | 1 |
| A-1.1 | ENLARGED SITE PLAN | 1 |
| A-2 | EXISTING AND NEW EQUIPMENT LAYOUT | 1 |
| A-3 | EXISTING AND NEW ANTENNA LAYOUT / RRUS SCHEDULE | 1 |
| A-4 | EXISTING AND NEW NORTH ELEVATIONS | 1 |
| A-5 | EXISTING AND NEW WEST ELEVATIONS | 1 |
| A-6 | EXISTING AND NEW SOUTH ELEVATIONS | 1 |
| A-7 | EXISTING AND NEW EAST ELEVATIONS | 1 |
| A-8 | EQUIPMENT DETAILS AND SPECIFICATIONS | 1 |
| A-9 | EQUIPMENT DETAILS AND SPECIFICATIONS | 1 |

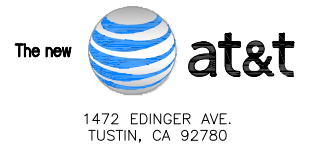
County of Ventura
 Planning Director Hearing
 Case No. PL22-0158
 Exhibit 3 -Site Plans

SHEET INDEX

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

DO NOT SCALE DRAWINGS

APPLICANT:



ENGINEER:



630 S. GRAND AVE., SUITE 101
SANTA ANA, CA 92705
TEL: (949) 553-8566

DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

REVISIONS:

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 03/02/18 | SCE COMMENTS |
| 0 | 02/12/18 | 100% CONSTRUCTION DRAWING |
| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:

PROJECT INFORMATION:

CSL01474 (VN0274)
 SCE PLEASANT VALEY RD.
 5498 EDISON DR.
 OXNARD, CA 93033

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

| | | | | | |
|--|------------------------|--|-----------------------------------|--|--|
| | NEW ANTENNA | | GROUT OR PLASTER | | TELCO RUN |
| | EXISTING ANTENNA | | (E) BRICK | | POWER/TELCO RUN |
| | GROUND ROD | | (E) MASONRY | | GROUNDING CONDUCTOR |
| | GROUND BUS BAR | | CONCRETE | | GROUNDING CONDUCTOR |
| | MECHANICAL GRND. CONN. | | EARTH | | GROUNDING CONDUCTOR |
| | CADWELD | | GRAVEL | | CONDUIT UNDERGROUND |
| | GROUND ACCESS WELL | | PLYWOOD | | FUSE, SIZE AND TYPE AS INDICATED. |
| | ELECTRIC BOX | | SAND | | SAFETY SWITCH, 2P-240V-60A W/60A FUSES, NEMA 3R ENCLOSURE, SQ D CATALOG NO. H222NRB |
| | TELEPHONE BOX | | WOOD CONT. | | MANUAL TRANSFER SWITCH, 2P-240V-200A, NO FUSE, NEMA 3R ENCLOSURE |
| | LIGHT POLE | | WOOD BLOCKING | | LIGHTING FIXTURE, FLUORESCENT, 10.94" x 4'-0", 2/40W, SURFACE MOUNTING TYPE, HUBBELL LIGHTING CATALOG #WSW232T |
| | FND. MONUMENT | | STEEL | | LIGHTING FIXTURE, FLUORESCENT, 10.94" x 8'-0", 2/95W, SURFACE MOUNTING TYPE, HUBBELL LIGHTING CATALOG #TWSM232T |
| | SPOT ELEVATION | | CENTERLINE | | LIGHTING FIXTURE, HIGH PRESSURE SODIUM, 1/70W, WALL MOUNTING TYPE, HUBBELL LIGHTING CATALOG #NRG-307 OR 1/50W, HUBBELL LIGHTING CATALOG #NRG-121 |
| | SET POINT | | PROPERTY/LEASE LINE | | EXIT SIGN, THERMOPLASTIC LED, SINGLE FACE, UNIVERSAL MOUNTING, W/BATTERY PACK, HUBBELL LIGHTING CATALOG #PRB |
| | REVISION | | MATCH LINE | | COMBINATION, EXIT SIGN & EMERGENCY LIGHTING, HUBBELL LIGHTING CATALOG #PRC |
| | GRID REFERENCE | | WORK POINT | | EMERGENCY LIGHTING, 2/50W, HUBBELL LIGHTING CATALOG #HE6-50-2-R91 |
| | DETAIL REFERENCE | | GROUND CONDUCTOR | | LIGHTING FIXTURE, INCANDESCENT, 1/100W, WALL MOUNTING TYPE, HUBBELL LIGHTING CATALOG #BRH-100-06-1 |
| | ELEVATION REFERENCE | | COAXIAL CABLE | | LIGHTING FIXTURE, HALOGEN, QUARTZ, 1/300W, HUBBELL LIGHTING CATALOG #OL-505 |
| | SECTION REFERENCE | | OVERHEAD SERVICE CONDUCTORS | | LIGHTING FIXTURE, 1/175W. METAL HALIDE, HUBBELL CAT #MIC-0175H-336 |
| | | | CHAIN LINK FENCING | | 5/8" X 10'-0" .CU. GND ROD 30" MIN. BELOW GRADE. |
| | | | OVERHEAD TELEPHONE/OVERHEAD POWER | | |
| | | | OVERHEAD TELEPHONE LINE | | |
| | | | OVERHEAD POWER LINE | | |
| | | | POWER RUN | | |
| | | | FIBER/POWER RUN | | |

ABBREVIATIONS

| | | | | | | | |
|---------|---|----------------|---------------------------------------|---------|---|--------|--|
| A | AMPERE | EMT. | ELECTRICAL METALLIC TUBING | MTD. | MOUNTED | T.O.F. | TOP OF FOUNDATION |
| A.B. | ANCHOR BOLT | E.N. | EDGE NAIL | MTG. | MOUNTING | T.O.P. | TOP OF PLATE (PARAPET) |
| ABV. | ABOVE | ENCL. | ENCLOSURE | MTL. | METAL | T.O.S. | TOP OF STEEL |
| AC | ALTERNATE CURRENT/AIR CONDITIONER | ENG. | ENGINEER | MTS. | MANUAL TRANSFER SWITCH | T.O.W. | TOP OF WALL |
| ACCA | ANTENNA CABLE COVER ASSEMBLY | EQ. | EQUAL | N | NEUTRAL | TY. | TYPICAL |
| ADD'L | ADDITIONAL | EXST.(E) | EXISTING | (N) | NEW | U.G. | UNDER GROUND |
| A.F.F. | ABOVE FINISHED FLOOR | EXP. | EXPANSION | NEMA | NATIONAL ELECTRICAL MANUFACTURERS ASSOC. | U.L. | UNDERWRITERS LABORATORY INC. |
| A.F.G. | ABOVE FINISHED GRADE | EXT. | EXTERIOR | NO.(#) | NUMBER | UMTS | UNIVERSAL MOBIL TECH. SYS. (3G MOBILE TECH.) |
| AIC | AMPERE INTERRUPTING CAPACITY | FAB. | FABRICATION(OR) | N.T.S. | NOT TO SCALE | U.N.O. | UNLESS NOTED OTHERWISE |
| ALUM. | ALUMINUM | FAC. | FACTOR | OBIF | OPTICAL BASEBAND INTERFACE | V | VOLT |
| ALT. | ALTERNATE | F/A | FIRE ALARM | OH | OVERHEAD | VAC | VOLT ALTERNATING CURRENT |
| ANT. | ANTENNA | F.F. | FINISH FLOOR | O.C. | ON CENTER | V.I.F. | VERIFY IN FIELD |
| APPROX. | APPROXIMATE(LY) | F.G. | FINISH GRADE | OPNG. | OPENING | W | WATT OR WIRE |
| ARCH. | ARCHITECT(URAL) | F.IN. | FINISH(ED) | POLE | POLE | WD | WIDE(WIDTH) |
| AT. | AMPERE TRIP | FLR. | FLOOR | P/C | PRECAST CONCRETE | W/ | WITH |
| AWG. | AMERICAN WIRE GAUGE | FLUR | FLUORESCENT | P/CS | PERSONAL COMMUNICATION SERVICES | W/O | WITHOUT |
| BATT. | BATTERY | FDN. | FOUNDATION | PH | PHASE | WD. | WOOD |
| BD. | BOARD | F.O.C. | FACE OF CONCRETE | PLY. | PLYWOOD | W.P. | WEATHERPROOF |
| BLDG. | BUILDING | F.O.M. | FACE OF MASONRY | PNLBD | PANELBOARD | WT. | WEIGHT |
| BLK. | BLOCK | F.O.S. | FACE OF STUD | PPC | POWER PROTECTION CABINET | XFMR | TRANSFORMER |
| BLKG. | BLOCKING | F.O.W. | FACE OF WALL | PRC | PRIMARY RADIO CABINET | XLPE | CROSS-LINK POLYETHYLENE |
| BM. | BEAM | F.S. | FINISH SURFACE | PRI | PRIMARY | X | CENTERLINE |
| B.N. | BOUNDARY NAILING | FT.(') | FOOT (FEET) | P.S.F. | POUNDS PER SQUARE FOOT | C | CENTERLINE |
| BR. | BRANCH | FTG. | FOOTING | P.S.I. | POUNDS PER SQUARE INCH | E | PLATE, PROPERTY LINE |
| BRKR. | BREAKER | FU | FUSE | P.T. | PRESSURE TREATED | | |
| BTCW. | BARE TINNED COPPER WIRE | G | GROUND | PWR. | POWER (CABINET) | | |
| BTS. | BASE TRANSMISSION SYSTEM | GR | GROWTH (CABINET) | QTY. | QUANTITY | | |
| B.O.F. | BOTTOM OF FOOTING | GA. | GAUGE | RAD.(R) | RADIUS | | |
| B/U | BACK-UP CABINET | GEN. | GENERATOR | RBS | RADIO BASE STATION | | |
| C | CONDUIT | GL | GALVANIZE(D) | RCPT. | RADIO STATION (3G NETWORKS) | | |
| CAB. | CABINET | G.F.C. I. | GROUND FAULT CIRCUIT INTERRUPTER | REF. | REFERENCE | | |
| CANT. | CANTILEVER(ED) | GLB. (GLU-LAM) | GLUE LAMINATED BEAM | REINF. | REINFORCEMENT(ING) | | |
| CB. | CIRCUIT BREAKER | GRND | GROUND | REQ'D. | REQUIRED | | |
| CDMA | CODE-DIVISION MULTIPLE ACCESS (2G & 3G) | GSM | GLOBAL POSITIONING SYSTEM | RGS. | RIGID GALVANIZED STEEL | | |
| CDUK | CONSOLIDATION DISTRIBUTION UNIT KIT | HDBC | HARD DRAWN COPPER WIRE | RRI | REMOTE RADIO UNIT (RADIO TRANSCIVER) | | |
| C.I.P. | CAST IN PLACE | HDR. | HEADER | RX-AIT | RECEIVER AIR INTERFACE TRAY | | |
| CKT. | CIRCUIT | HGR. | HANGER | SAF | SAFETY | | |
| CLG. | CEILING | HPS | HIGH PRESSURE SODIUM | SCH. | SCHEDULE | | |
| CLR. | CLEAR | HT. | HEIGHT | SDBC | SOFT DRAWN BARE COPPER | | |
| CLW | CONCRETE MASONRY UNIT (JAMB BLOCKS) | ICGB. | ISOLATED COPPER GROUND BUS | SEC | SECONDARY | | |
| COL. | COLUMN | IN.(') | INCH(ES) | SHT. | SHEET | | |
| CONC. | CONCRETE | INT. | INTERIOR | SIM. | SIMILAR | | |
| CONN. | CONNECTION(OR) | INT. | INTERIOR | S.N. | SOLID NEUTRAL SPECIFICATION(S) | | |
| CONST. | CONSTRUCTION | LB.(#) | POUND(S) | SQ. | SQUARE | | |
| CONT. | CONTINUOUS | L.F. | LINEAR FEET (FOOT) | S.S. | STAINLESS STEEL | | |
| q | QUANTITY | L.G. | LENGTH | STD. | STANDARD | | |
| DBL. | DOUBLE | L. | LONG(TUDINAL) | STL. | STEEL | | |
| DC | DIRECT CURRENT | LPS | LOW PRESSURE SODIUM | STRUC. | STRUCTURAL | | |
| DEM. | DEMAND | LTE | LONG TERM EVOLUTION (4G MOBILE TECH.) | SURF | SURFACE | | |
| DEPT. | DEPARTMENT | MAS. | MASONRY | SW | SWITCH | | |
| D.F. | DOUBLE FIR | MAX. | MAXIMUM | TEL | TELEPHONE | | |
| DIA. | DIAMETER | M.B. | MACHINE BOLT | TEMP. | TEMPORARY | | |
| DIAG. | DIAGONAL | MECH. | MECHANICAL | THK. | THICK(NESS) | | |
| DIM. | DIMENSION | MFR. | MANUFACTURER | TMAS | TOWER MOUNTED AMPLIFIER (DC SUPPLY VOLTAGE) | | |
| DWG. | DRAWING(S) | MIN. | MINIMUM | T.N. | TOE NAIL | | |
| DWL. | DOWEL(S) | MISC. | MISCELLANEOUS | T.O.A. | TOP OF ANTENNA | | |
| EA. | EACH | MLO | MAIN LUGS ONLY | T.O.C. | TOP OF CURB | | |
| EGR. | EMERGENCY GENERATOR RECEPTACLE | | | | | | |
| EL. | ELEVATION | | | | | | |
| ELEC. | ELECTRICAL | | | | | | |
| ELEV. | ELEVATOR | | | | | | |

ABBREVIATIONS

2 EXISTING AT&T CELL SITE NOTES

3 GENERAL NOTES

4

- THE FACILITY IS AN UNOCCUPIED DIGITAL TELECOMMUNICATION FACILITY.
- PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE IMPLEMENTATION ENGINEER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE IMPLEMENTATION ENGINEER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
- SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWING (SHEET LSI OR SHEET C-1), SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ENGINEER.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, VEGETATION, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF AT&T.
- KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE.
- PENETRATIONS OF ROOF MEMBRANES SHALL BE PATCHED/FLASHED AND MADE WATERTIGHT USING LIKE MATERIALS IN ACCORDANCE WITH NRCA ROOFING STANDARDS AND DETAILS. CONTRACTOR SHALL OBTAIN DETAILING CLARIFICATION FOR SITE-SPECIFIC CONDITIONS FROM ENGINEER, IF NECESSARY, BEFORE PROCEEDING.
- BEFORE ORDERING AND/OR BEFORE FABRICATING/CONSTRUCTING/INSTALLING ANY ITEMS, VERIFY THE TYPES AND QUANTITIES.
- CONTRACTOR SHALL PROVIDE SITE FOREMAN WITH A CELLULAR PHONE AND PAGER, AND KEEP SAME ON SITE WHENEVER PERSONNEL ARE ON SITE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE SITE AND NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES BEFORE STARTING ANY WORK.
- CONTRACTOR TO PROVIDE COMPLETE SET OF AS BUILT DRAWINGS WITHIN 10 WORKING DAYS OF PROJECT COMPLETION.
- CONTRACTOR IS TO EXCAVATE 6" BELOW EXISTING GRADE AND SPRAY WITH WEED CONTROL. REPLACE WITH CLASS II AGGREGATE BASE AND CRUSHED WASHED ROCK, AS SPECIFIED ON SITE PLAN.
- CONTRACTOR SHALL PROVIDE TOILET FACILITY DURING ALL PHASES OF CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR THE FABRICATION OF MATERIALS TO BE INSTALLED AT THE SITE, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INCLUDING AS-BUILT DIMENSIONS OF EXISTING STRUCTURES OR STRUCTURAL ELEMENTS HAVING A BEARING ON THE SCOPE OF THE WORK TO BE PERFORMED. IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE DIMENSIONS OR CONDITIONS FOUND TO BE EXISTING IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OBTAIN DESIGN RESOLUTION PRIOR TO PROCEEDING WITH THE PORTION(S) OF THE WORK AFFECTED. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO SO NOTIFY THE ENGINEER AND OBTAIN RESOLUTION BEFORE PROCEEDING.

APPLICANT:

1472 EDINGER AVE.
TUSTIN, CA 92780

ENGINEER:

630 S. GRAND AVE., SUITE 101
SANTA ANA, CA 92705
TEL: (949) 553-8566

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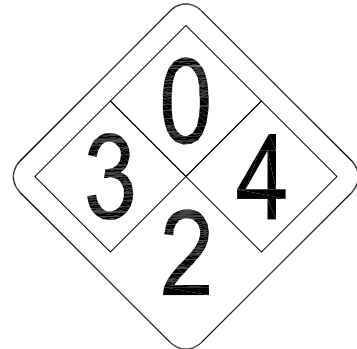
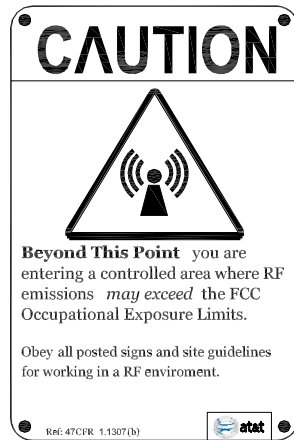
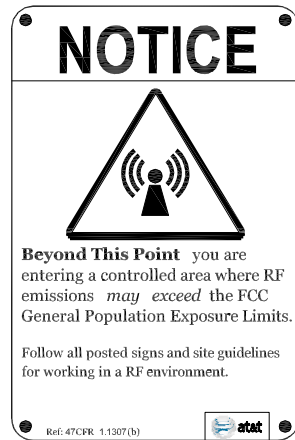
CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
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GENERAL NOTES, LEGEND AND ABBREVIATIONS

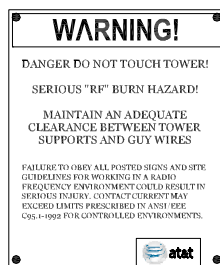
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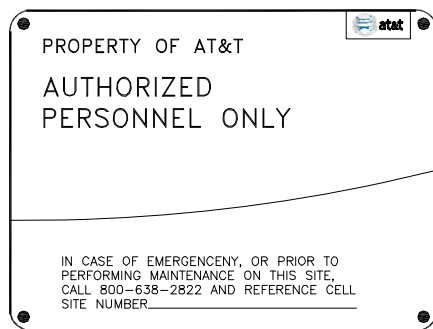


ALERTING SIGN
NO SCALE

ALERTING SIGNS
NO SCALE



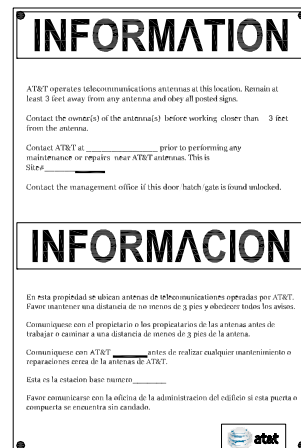
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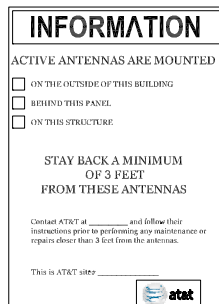
INFO SIGN #5
NO SCALE



INFO SIGN #3
NO SCALE



INFO SIGN #1
NO SCALE



INFO SIGN #2
NO SCALE

INFO SIGN #4
NO SCALE

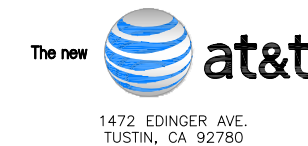
STAY BACK 3 FEET FROM ANTENNA

GENERAL SIGNAGE GUIDELINES

| Structure Type | INFO SIGN #1 | INFO SIGN #2 | INFO SIGN #3 | INFO SIGN #4 | INFO SIGN #5 | Striping | NOTICE SIGN | CAUTION SIGN |
|---|--|--|-------------------------|-------------------------|---|--|--|---|
| Towers | | | | | | | | |
| MONOPIPE/Monopine/Monopalm | entrance gates, shelter doors OR on the outdoor cabinets | climbing side of the Tower | on backside of Antennas | on the side of Antennas | On the shelter door or on one outdoor equipment cabinet | | | At the height of the first climbing step, min. 9ft above ground |
| SCE Towers/Towers with high voltage | entrance gates, shelter doors OR on the outdoor cabinets | climbing side of the Tower | on backside of Antennas | on the side of Antennas | On the shelter door or on one outdoor equipment cabinet | | | At the height of the first climbing step, min. 9ft above ground |
| Light Poles/Flag Poles | entrance gates, shelter doors OR on the outdoor cabinets | on the pole, no less than 3ft below the Antenna and no | on backside of Antennas | on the side of Antennas | On the shelter door or on one outdoor equipment cabinet | | | |
| Utility Wood Poles (JPA) | entrance gates, shelter doors OR on the outdoor cabinets | on the pole, no less than 3ft below the Antenna and no | on backside of Antennas | on the side of Antennas | On the shelter door or on one outdoor equipment cabinet | | If GP max value of MPE at antenna level is: 0-99% Notice sign; over 99% Caution sign at no less than 3ft below antenna and 9ft above ground | |
| Microcells mounted on non-JPA poles | entrance gates, shelter doors OR on the outdoor cabinets | on the pole, no less than 3ft below the Antenna and no | on backside of Antennas | on the side of Antennas | On the shelter door or on one outdoor equipment cabinet | | Notice or Caution sign at no less than 9ft above ground; only if the exposure exceeds 90% of the General Public Exposure at 6ft above ground or at | |
| Roof Tops | | | | | | | | |
| At all access points to the roof | X | | | | | | | |
| On Antennas | X | | X | X | | | | |
| Concealed Antennas | X | X | | | | | | |
| antennas mounted facing outside the building | X | X | | | | | | |
| antennas on support structure | X | X | | | | | | |
| Roofview Graph: | | | | | | | | |
| Radiation area is within 3ft from antenna | X | adjacent to each antenna | | | | | | either Notice or Caution sign (based on Roofview results) at antennas/barrier |
| Radiation area is beyond 3ft from antenna | X | adjacent to each antenna | | | | diagonal, yellow striping as to Roofview graph | | |
| Church Steeples | | | | | | | | |
| Access to steeple | | adjacent to antennas if antennas are concealed | On backside of Antennas | On the side of Antennas | On the shelter door or on one outdoor equipment cabinet | | | Caution sign at the antennas |
| Water Stations | | | | | | | | |
| Access to ladder | | adjacent to antennas if antennas are concealed | On backside of Antennas | On the side of Antennas | On the shelter door or on one outdoor equipment cabinet | | | Caution sign beside info sign #1, min. 9ft above ground |
| Notes for Rooftop sites: | | | | | | | | |
| 1. Either NOTICE or CAUTION signs need to be posted at each sector as close as possible to: the outer edge of the striped off area of the outer antennas of the sector. | | | | | | | | |
| 2. If Roofview shows: only blue = Notice Sign, blue and yellow = Caution Sign, only yellow = Caution sign to be installed. | | | | | | | | |
| 3. Should the Required striping area interfere with any structures or equipment (A/C, vents, roof hatch, doors, other antennas, dishes, etc.), please notify AT&T to modify the striping area, prior to starting the work | | | | | | | | |

SIGNAGE GUIDELINES CHART
NO SCALE

APPLICANT:



ENGINEER:



DRAWN BY: AG/EC/MAG
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GENERAL SIGNAGE

SHEET NUMBER:

T-3

SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.

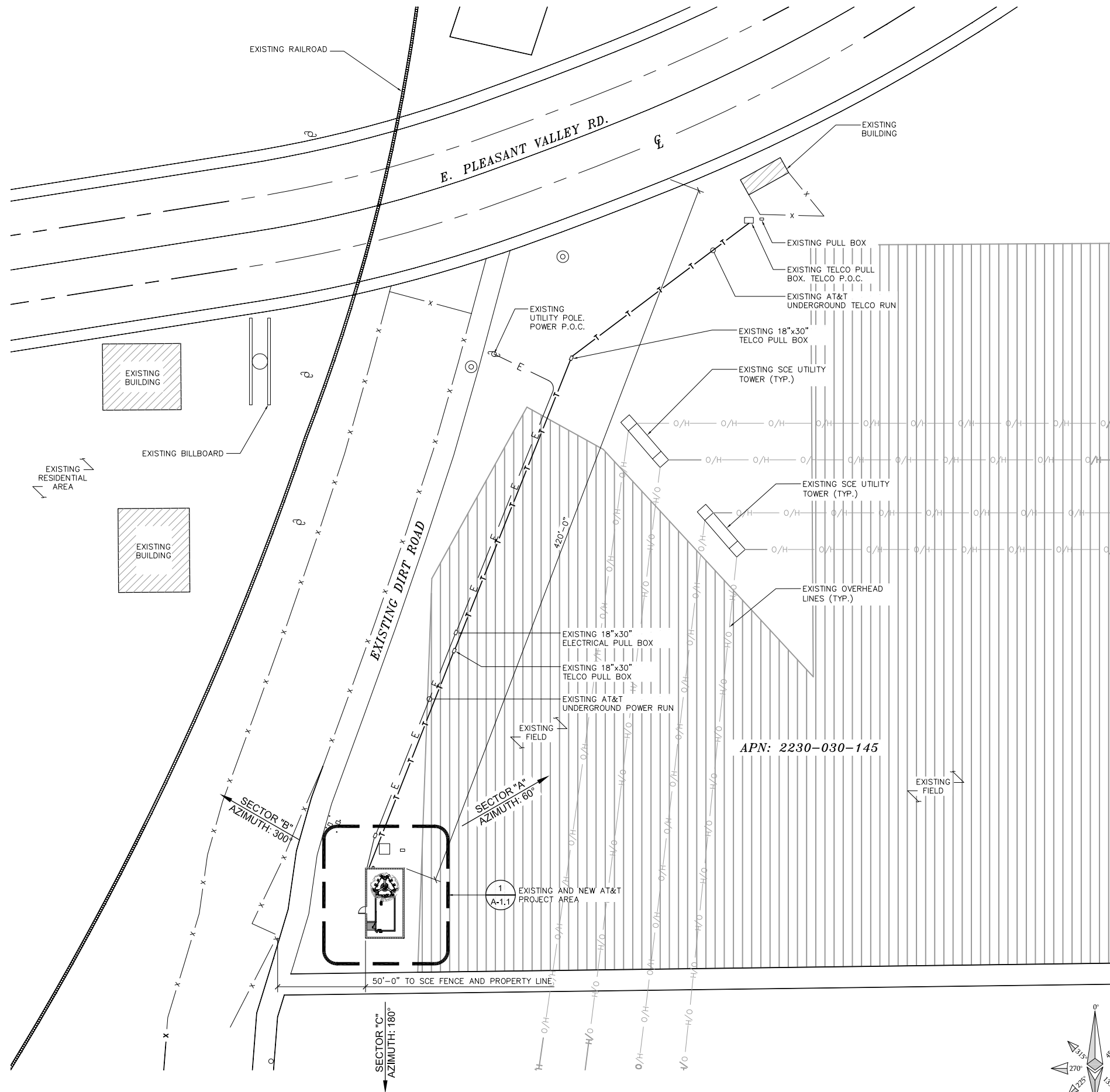
GENERAL NOTES:

1. THE EXISTING FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE.
2. THE EXISTING FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITAT. (NO HANDICAP ACCESS IS REQUIRED).
3. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY AT&T TECHNICIANS.
4. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS PROPOSAL.
5. OUTDOOR STORAGE AND SOLID WASTE CONTAINERS ARE NOT NEW.
6. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
7. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATION.
8. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION.
9. SUBCONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
10. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND DRAWINGS PROVIDED BY THE SITE OWNER. SUBCONTRACTOR SHALL NOTIFY AT&T OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.

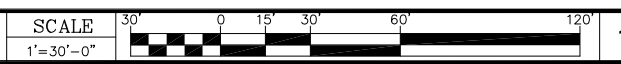
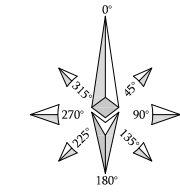
SITE WORK GENERAL NOTES:

1. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING & EXCAVATION.
2. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
3. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
4. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
5. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
6. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
7. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING, OWNER AND/OR LOCAL UTILITIES.
8. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE AND STABILIZED TO PREVENT EROSION AS SPECIFIED IN THE PROJECT SPECIFICATIONS.
9. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
10. ADD ELECTRICAL CONNECTIONS IN THE PUBLIC RIGHT OF WAY SHALL BE INSTALLED UNDERGROUND TO THE NEAREST UTILITY POLE.
11. NO WORK SHALL BE DONE WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT THE PRIOR APPROVAL AND PERMIT FROM THE ENVIRONMENTAL AND PUBLIC WORKS MANAGEMENT DEPARTMENT - ADMINISTRATIVE SERVICES.
12. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL DAMAGED OFFSITE IMPROVEMENTS CAUSED BY CONSTRUCTION. CALL PUBLIC WORKS INSPECTOR FOR INSPECTION OF OFFSITE IMPROVEMENTS AT SUBSTANTIAL COMPLETION OF ONSITE WORK.
13. NO CONSTRUCTION DEBRIS SHALL BE SPILLED OR STORED ONTO PUBLIC RIGHT-OF-WAY.
14. NO RUNOFF SEDIMENT OR WASTES IS ALLOWED IN WATER LEAVING THE SITE.
15. ALL SITE UTILITIES SHALL BE CONSTRUCTED UNDERGROUND TO THE NEAREST POLE.
16. ALL LABOR, EQUIPMENT AND MATERIAL REQUIRED FOR OFF-SITE IMPROVEMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

DISCLAIMER NOTE:
EUKONGROUP HAS GENERATED A SITE PLAN WITHOUT USING A TOPOGRAPHIC SURVEY. PROPERTY LINES, POWER/TELCO UTILITY POINT OF CONNECTIONS/ROUTES AND EASEMENT SHOWN ON THIS PLANS ARE ESTIMATED. EUKONGROUP HIGHLY RECOMMENDS GETTING A TOPOGRAPHIC SURVEY FOR THE PROPERTY TO VERIFY THE MEASUREMENTS AND ACCURACY.



APN: 2230-030-145



SITE PLAN

APPLICANT:



ENGINEER:



DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

REVISIONS:

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 03/02/18 | SCE COMMENTS |
| 0 | 02/12/18 | 100% CONSTRUCTION DRAWING |
| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:

PROJECT INFORMATION:

CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
OXNARD, CA 93033

SHEET TITLE:

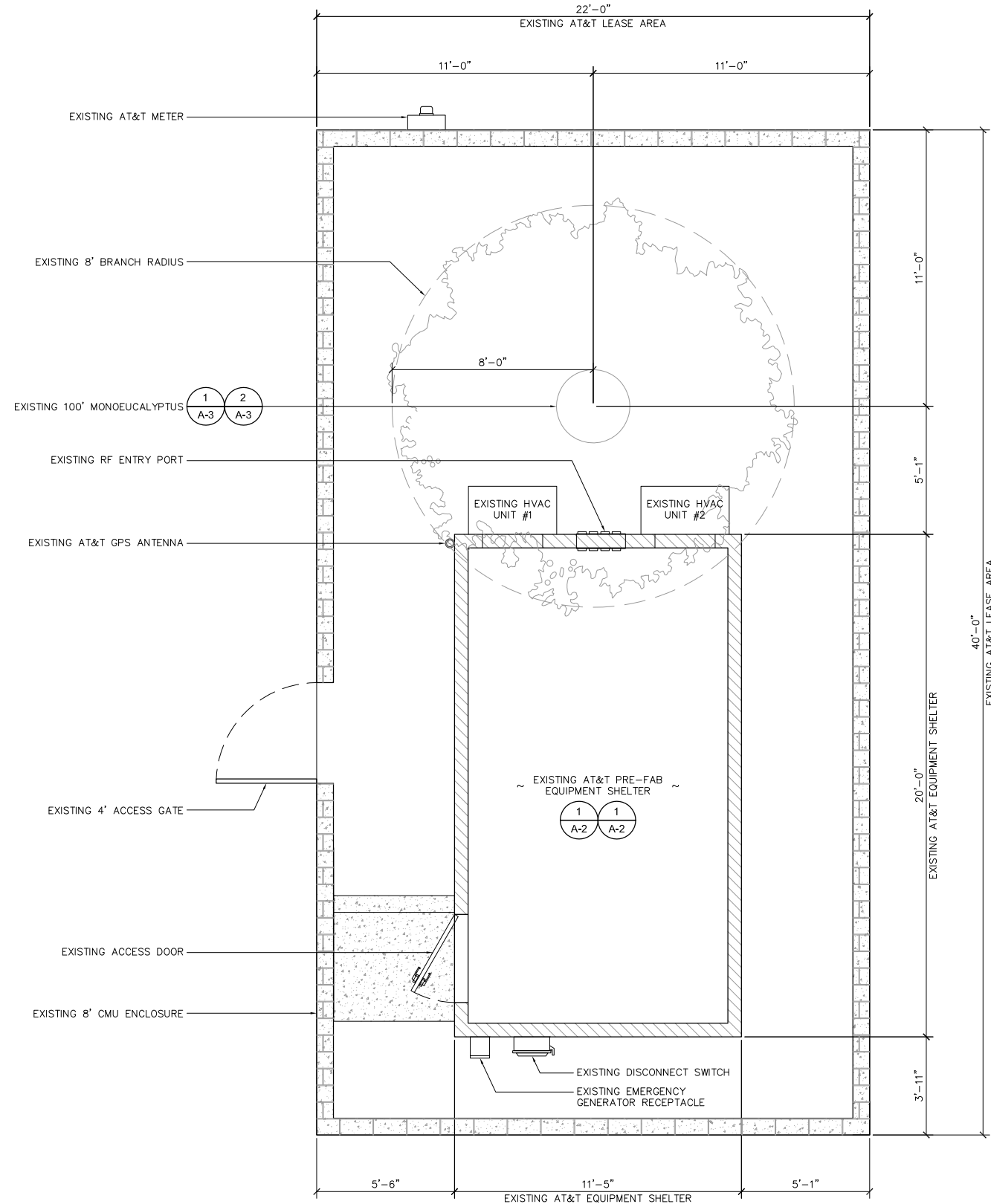
SITE PLAN

SHEET NUMBER:

A-1

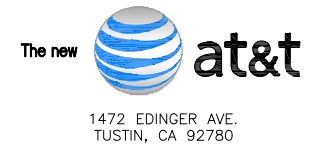
SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.

NOTE:
EXISTING AT&T PANEL ANTENNAS NOT SHOWN FOR CLARITY.



DISCLAIMER NOTE:
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APPLICANT:



ENGINEER:



DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

REVISIONS:

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 03/02/18 | SCE COMMENTS |
| 0 | 02/12/18 | 100% CONSTRUCTION DRAWING |
| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:

PROJECT INFORMATION:

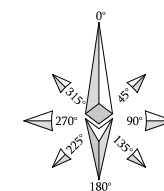
CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
OXNARD, CA 93033

SHEET TITLE:

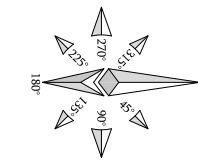
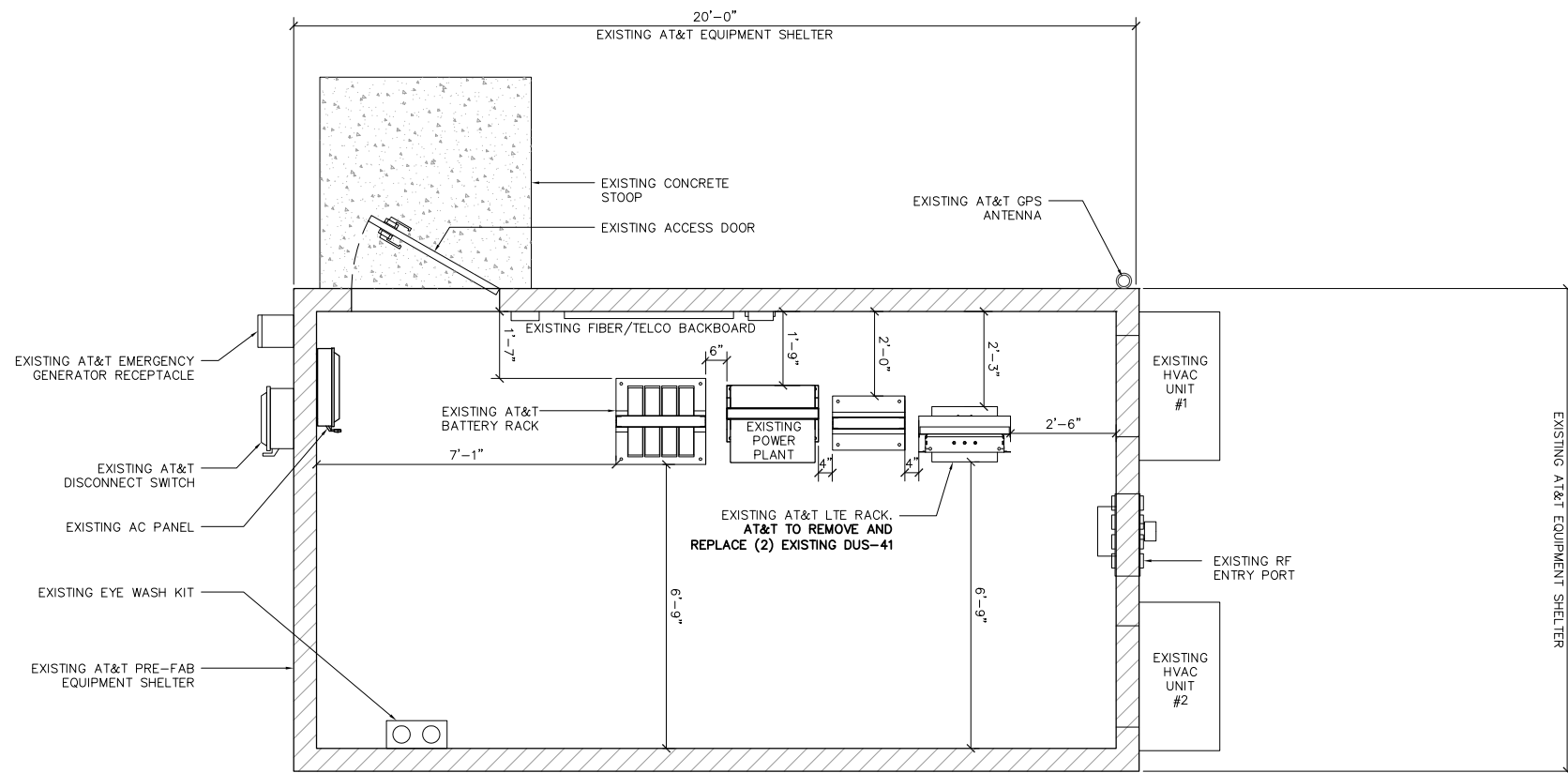
ENLARGED SITE PLAN

SHEET NUMBER:

A-1.1



SCALE NOTE:
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DISCLAIMER NOTE:
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EXISTING EQUIPMENT LAYOUT



APPLICANT:

1472 EDINGER AVE.
TUSTIN, CA 92780

ENGINEER:

630 S. GRAND AVE., SUITE 101
SANTA ANA, CA 92705
TEL: (949) 553-8566

DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

REVISIONS:

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 03/02/18 | SCE COMMENTS |
| 0 | 02/12/18 | 100% CONSTRUCTION DRAWING |
| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:

PROJECT INFORMATION:

CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
OXNARD, CA 93033

SHEET TITLE:

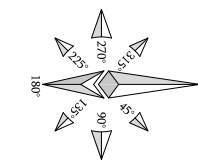
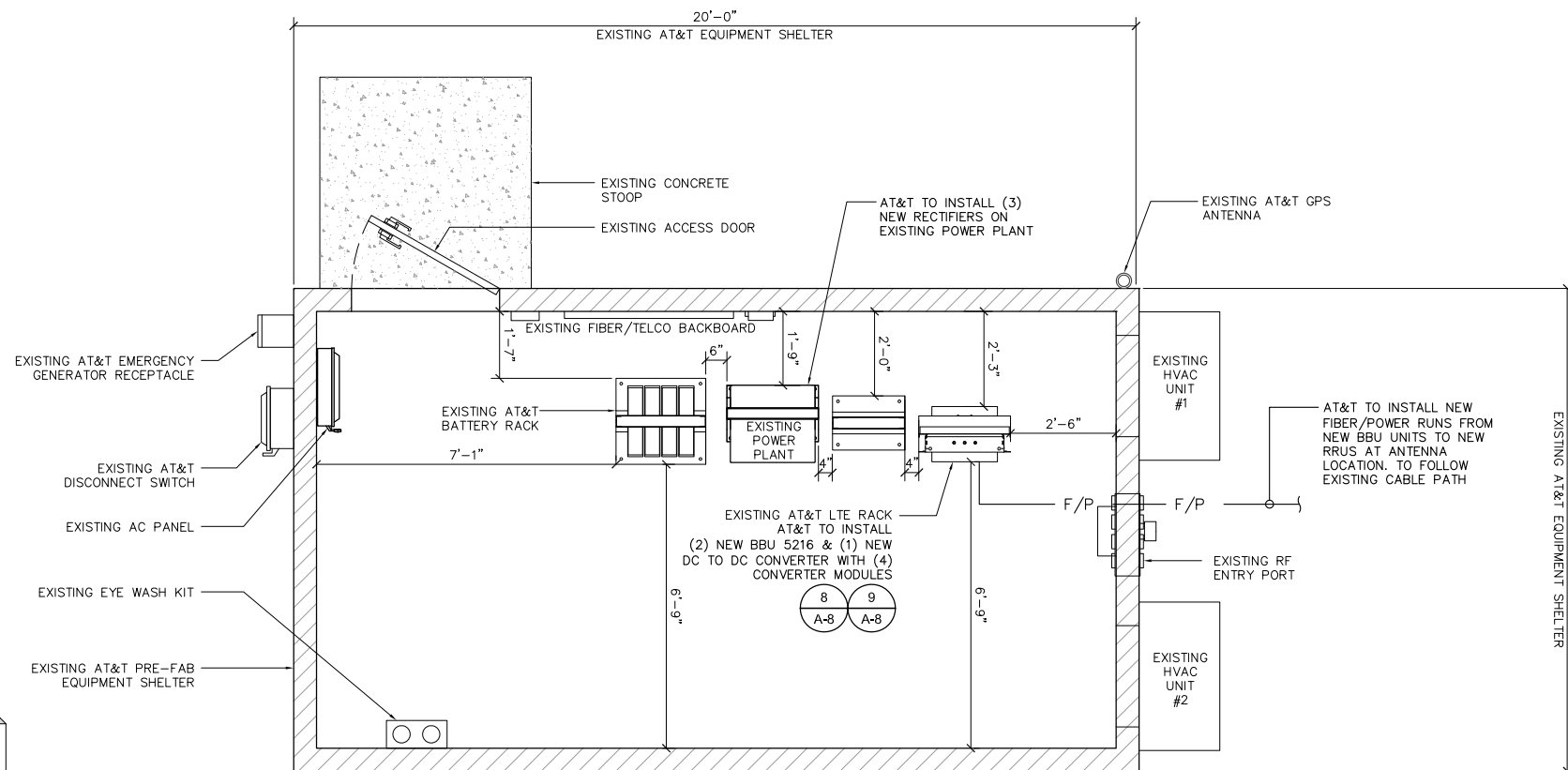
EXISTING AND NEW EQUIPMENT LAYOUT

SHEET NUMBER:

A-2

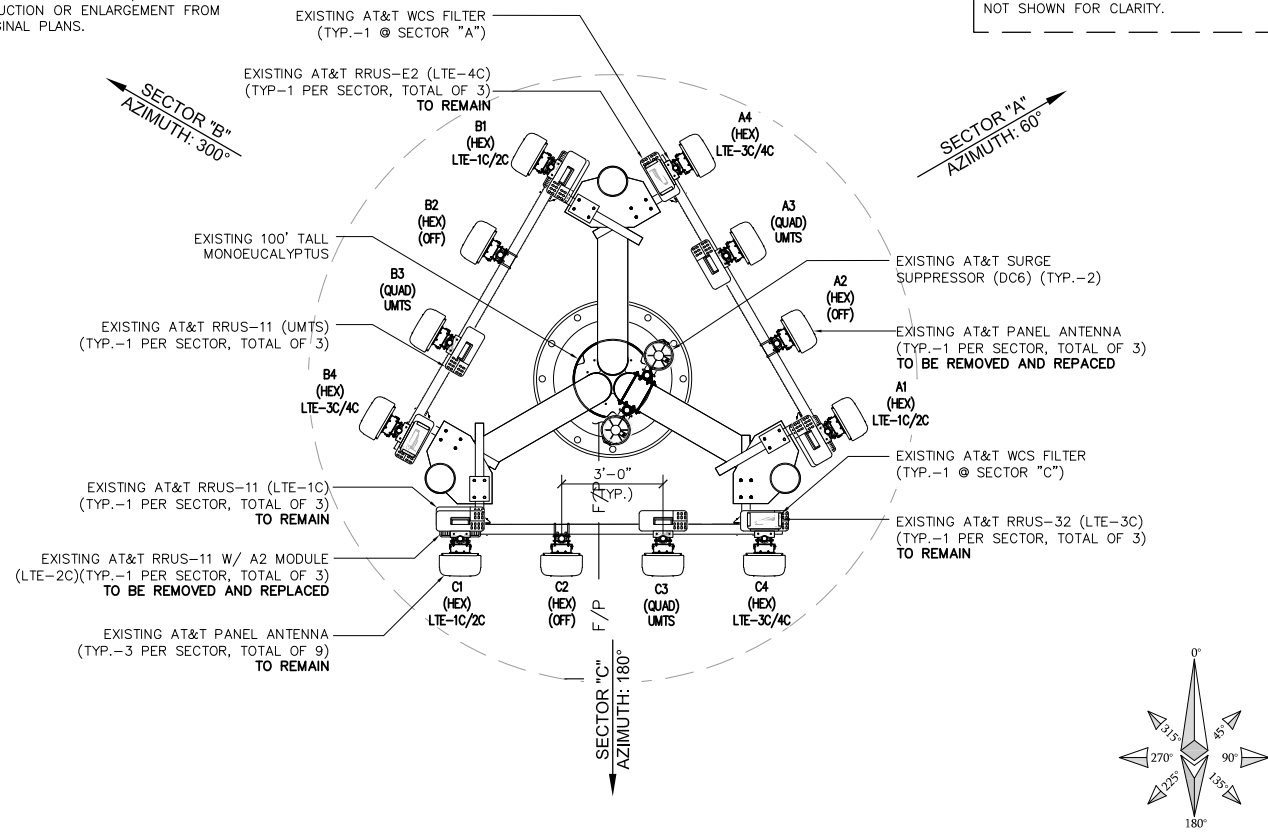
DISCLAIMER NOTE:
EUKONGROUP HAS GENERATED A SITE PLAN WITHOUT USING A TOPOGRAPHIC SURVEY. PROPERTY LINES, POWER/TELCO UTILITY POINT OF CONNECTIONS/ROUTES AND EASEMENT SHOWN ON THIS PLANS ARE ESTIMATED. EUKONGROUP HIGHLY RECOMMENDS GETTING A TOPOGRAPHIC SURVEY FOR THE PROPERTY TO VERIFY THE MEASUREMENTS AND ACCURACY.

NEW EQUIPMENT LAYOUT



SCALE NOTE:
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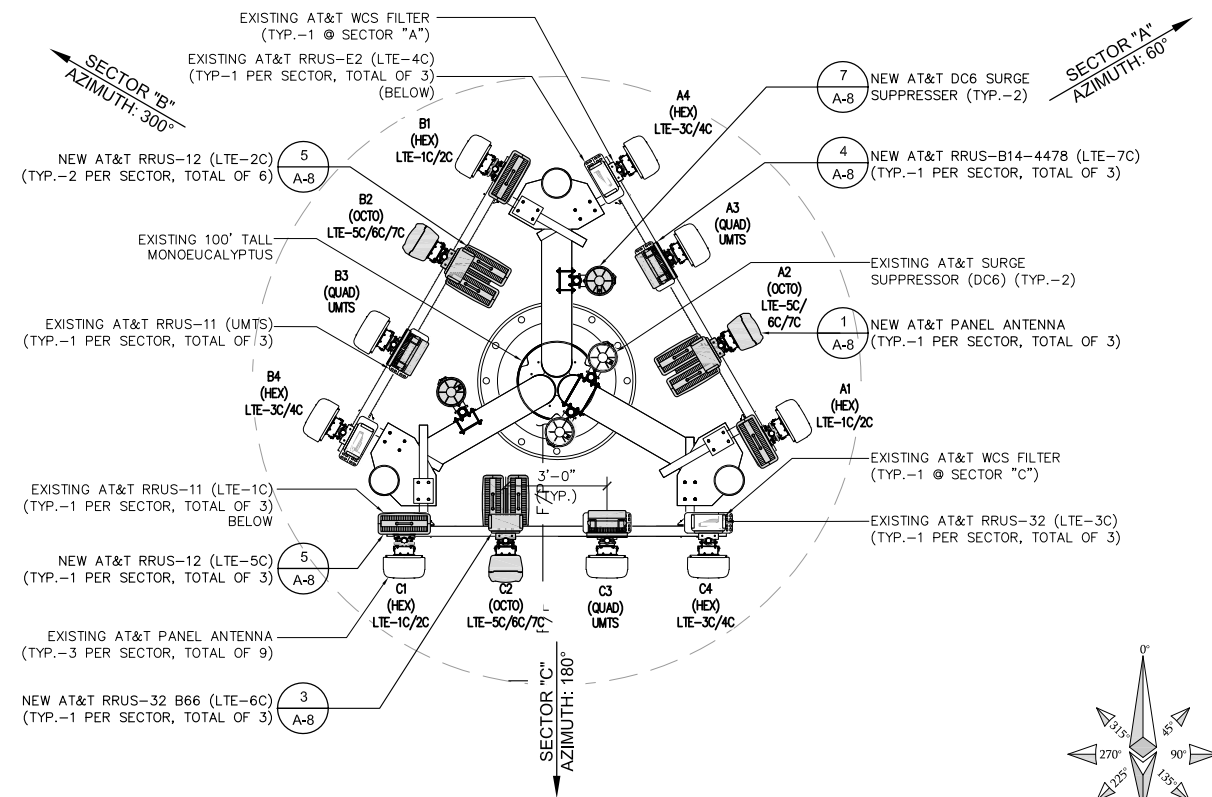
NOTE:
1. EXISTING MONOEUCLYPTUS FOLIAGE NOT SHOWN FOR CLARITY.



EXISTING ANTENNA PLAN

SCALE 3/8"=1'-0" 1

NOTE:
1. EXISTING MONOEUCLYPTUS FOLIAGE NOT SHOWN FOR CLARITY.



NEW ANTENNA PLAN

SCALE 3/8"=1'-0" 2

OPTIMUM ANTENNA REQUIREMENTS (VERIFY WITH CURRENT RFDS)

| SECTOR | TECHNOLOGY | | ANTENNA MODEL | | ANTENNA AZIMUTH | | RAD CENTER | | TRANSMISSION CABLE | | |
|--------------|------------|-----------|---------------|---------------------|---------------------|------|------------|---------|--------------------|-------------|-------|
| | EXISTING | NEW | EXISTING | NEW | EXISTING | NEW | EXISTING | NEW | LENGTH | PART NUMBER | |
| ALPHA SECTOR | A1 | LTE-1C/2C | LTE-1C/2C | CCI HPA-65R-BUU-HB | CCI HPA-65R-BUU-HB | 60° | 60° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| | A2 | OFF | LTE-5C/6C/7C | CCI HPA-65R-BUU-HB | QUINTEL QS8658-3e | 60° | 60° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| | A3 | UMTS | UMTS | ANDREW SBNH-1D6565C | ANDREW SBNH-1D6565C | 60° | 60° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| | A4 | LTE-3C | LTE-3C/4C | CCI HPA-65R-BUU-HB | CCI HPA-65R-BUU-HB | 60° | 60° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| BETA SECTOR | B1 | LTE-1C/2C | LTE-1C/2C | CCI HPA-65R-BUU-HB | CCI HPA-65R-BUU-HB | 300° | 300° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| | B2 | OFF | LTE-5C/6C/7C | CCI HPA-65R-BUU-HB | QUINTEL QS8658-3e | 300° | 300° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| | B3 | UMTS | UMTS | ANDREW SBNH-1D6565C | ANDREW SBNH-1D6565C | 300° | 300° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| | B4 | LTE-3C | LTE-3C/4C | CCI HPA-65R-BUU-HB | CCI HPA-65R-BUU-HB | 300° | 300° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| GAMMA SECTOR | C1 | LTE-1C/2C | LTE-1C/2C | CCI HPA-65R-BUU-HB | CCI HPA-65R-BUU-HB | 180° | 180° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| | C2 | OFF | LTE-5C/6C/7C | CCI HPA-65R-BUU-HB | QUINTEL QS8658-3e | 180° | 180° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| | C3 | UMTS | UMTS | ANDREW SBNH-1D6565C | ANDREW SBNH-1D6565C | 180° | 180° | ±91'-0" | ±91'-0" | ±110' | FIBER |
| | C4 | LTE-3C | LTE-3C/4C | CCI HPA-65R-BUU-HB | CCI HPA-65R-BUU-HB | 180° | 180° | ±91'-0" | ±91'-0" | ±110' | FIBER |

NOTES TO CONTRACTOR

- CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.
- CABLE LENGTHS WERE DETERMINED BASED ON A VISUAL INSPECTION DURING SITE WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK.
- CONTRACTOR TO USE ROSENBERGER FIBER LINE HANGER COMPONENTS (OR ENGINEER APPROVED EQUAL).
- CONTRACTOR TO USE CABLES SPECIFIED (OR ENGINEER APPROVED EQUAL).

REMOTE RADIO UNITS (RRU'S)

| SECTOR | RRU TYPE | (E) | (N) | RRU LOCATION (DISTANCE FROM ANTENNA) | MINIMUM CLEARANCES | | | |
|--------------|----------|---|-----|--------------------------------------|--------------------|-------|-------|----|
| | | | | | ABOVE | BELOW | SIDES | |
| ALPHA SECTOR | A1 | ERICSSON RRU-11 (700) & ERICSSON RRU-12 (PCS) | 1 | 2 | <15'-0" | 16" | 8" | 0" |
| | A2 | ERICSSON RRU-12 (850), ERICSSON RRU-32 B66 (AWS-3) & ERICSSON RRU-B14 4478 (FIRSTNET) | - | 3 | <15'-0" | 16" | 8" | 0" |
| | A3 | ERICSSON RRU-11 (UMTS) | 1 | - | <15'-0" | 16" | 8" | 0" |
| | A4 | ERICSSON RRU-32 (WCS) & ERICSSON RRU-E2 (700 DE) | 2 | - | <15'-0" | 16" | 8" | 0" |
| BETA SECTOR | B1 | ERICSSON RRU-11 (700) & ERICSSON RRU-12 (PCS) | 1 | 2 | <15'-0" | 16" | 8" | 0" |
| | B2 | ERICSSON RRU-12 (850), ERICSSON RRU-32 B66 (AWS-3) & ERICSSON RRU-B14 4478 (FIRSTNET) | - | 3 | <15'-0" | 16" | 8" | 0" |
| | B3 | ERICSSON RRU-11 (UMTS) | 1 | - | <15'-0" | 16" | 8" | 0" |
| | B4 | ERICSSON RRU-32 (WCS) & ERICSSON RRU-E2 (700 DE) | 2 | - | <15'-0" | 16" | 8" | 0" |
| GAMMA SECTOR | C1 | ERICSSON RRU-11 (700) & ERICSSON RRU-12 (PCS) | 1 | 2 | <15'-0" | 16" | 8" | 0" |
| | C2 | ERICSSON RRU-12 (850), ERICSSON RRU-32 B66 (AWS-3) & ERICSSON RRU-B14 4478 (FIRSTNET) | - | 3 | <15'-0" | 16" | 8" | 0" |
| | C3 | ERICSSON RRU-11 (UMTS) | 1 | - | <15'-0" | 16" | 8" | 0" |
| | C4 | ERICSSON RRU-32 (WCS) & ERICSSON RRU-E2 (700 DE) | 2 | - | <15'-0" | 16" | 8" | 0" |

SURGE SUPPRESSION SYSTEM

| SYSTEM | MANUFACTURER | PART NUMBER | (E) | (N) | LOCATION |
|--------|--------------|-----------------|-----|-----|------------------------------------|
| | | | | | |
| | RAYCAP | DC12-48-60-RM | 2 | 1 | MOUNTED ON EXISTING EQUIPMENT RACK |
| | RAYCAP | DC6-48-60-18-BF | 2 | 2 | MOUNTED ON EXISTING MONOEUCLYPTUS |
| | - | - | - | - | - |
| | - | - | - | - | - |

OPTIMUM FIBER OPTIC TRANSMISSION AND DC POWER CABLE SCHEDULE

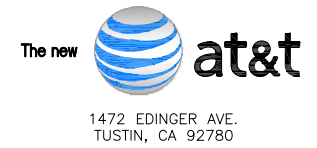
| SECTOR | FIBER OPTIC TRANSMISSION CABLES | | | | | | DC POWER CABLES | | | | | | | | |
|--------|---------------------------------|------------|-----------------|-----------------|-------------------|------------|------------------|----------------|-----------------|----------------|-----------------|------------|-----------------|---|------|
| | FROM LTE DUL TO DC6 | | FROM DC6 TO RRU | | FROM DC12 TO DC12 | | FROM DC12 TO DC2 | | FROM DC6 TO RRU | | | | | | |
| | PART# | QTY/LENGTH | PART# | QTY/LENGTH | PART# | QTY/LENGTH | PART# | QTY/LENGTH | PART# | QTY/LENGTH | PART# | QTY/LENGTH | | | |
| ALPHA | | | FB-L98B-006-XXX | 4 | ≤15' | | | WR-VG82ST-BRDA | 0 | N/A | WR-VG122ST-BRDA | 4 | ≤15' | | |
| BETA | FB-L98B-002-XXX | 1* | ±110' | FB-L98B-006-XXX | 4 | ≤15' | WR-VG86ST-BRD | 0 | N/A | WR-VG82ST-BRDA | 0 | N/A | WR-VG122ST-BRDA | 4 | ≤15' |
| GAMMA | | | FB-L98B-006-XXX | 4 | ≤15' | | | WR-VG82ST-BRDA | 0 | N/A | WR-VG122ST-BRDA | 4 | ≤15' | | |

PART NUMBERS PROVIDED ARE FOR ROSENBERGER PRODUCTS.
*EACH FB-L98B-002-XXX (12) PAIR FIBER TRUNK CABLE TRANSMITS SIGNAL FOR UP TO (12) RRU'S.
**EACH WR-VG86ST-BRD (6) CONDUCTOR POWER CABLE SUPPLIES POWER FOR UP TO (3) RRU'S, (1) PER SECTOR.

ANTENNA AND RRU SCHEDULE

SCALE NONE 3

APPLICANT:



ENGINEER:



DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

REVISIONS:

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 03/02/18 | SCE COMMENTS |
| 0 | 02/12/18 | 100% CONSTRUCTION DRAWING |
| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:

PROJECT INFORMATION:

CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
OXNARD, CA 93033

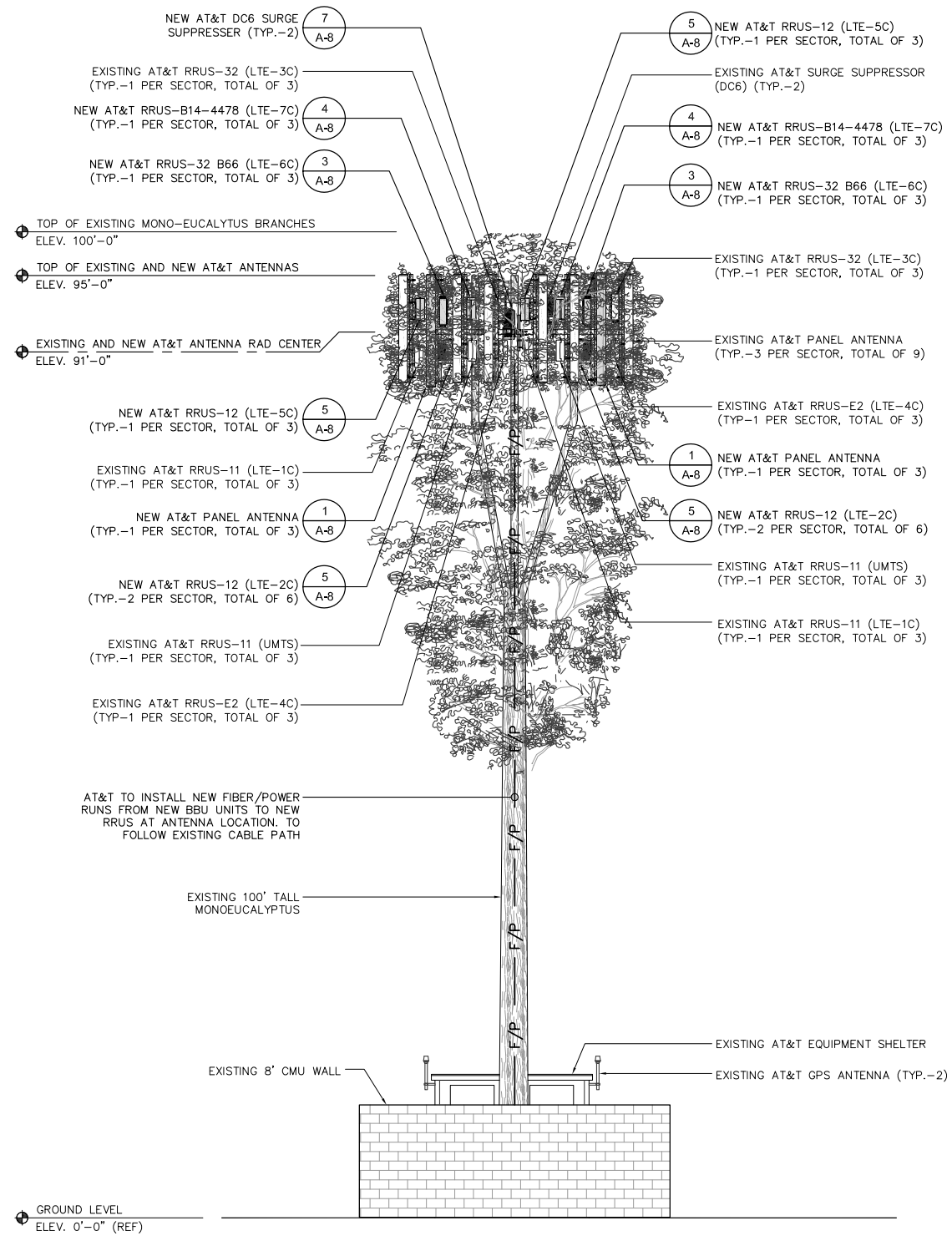
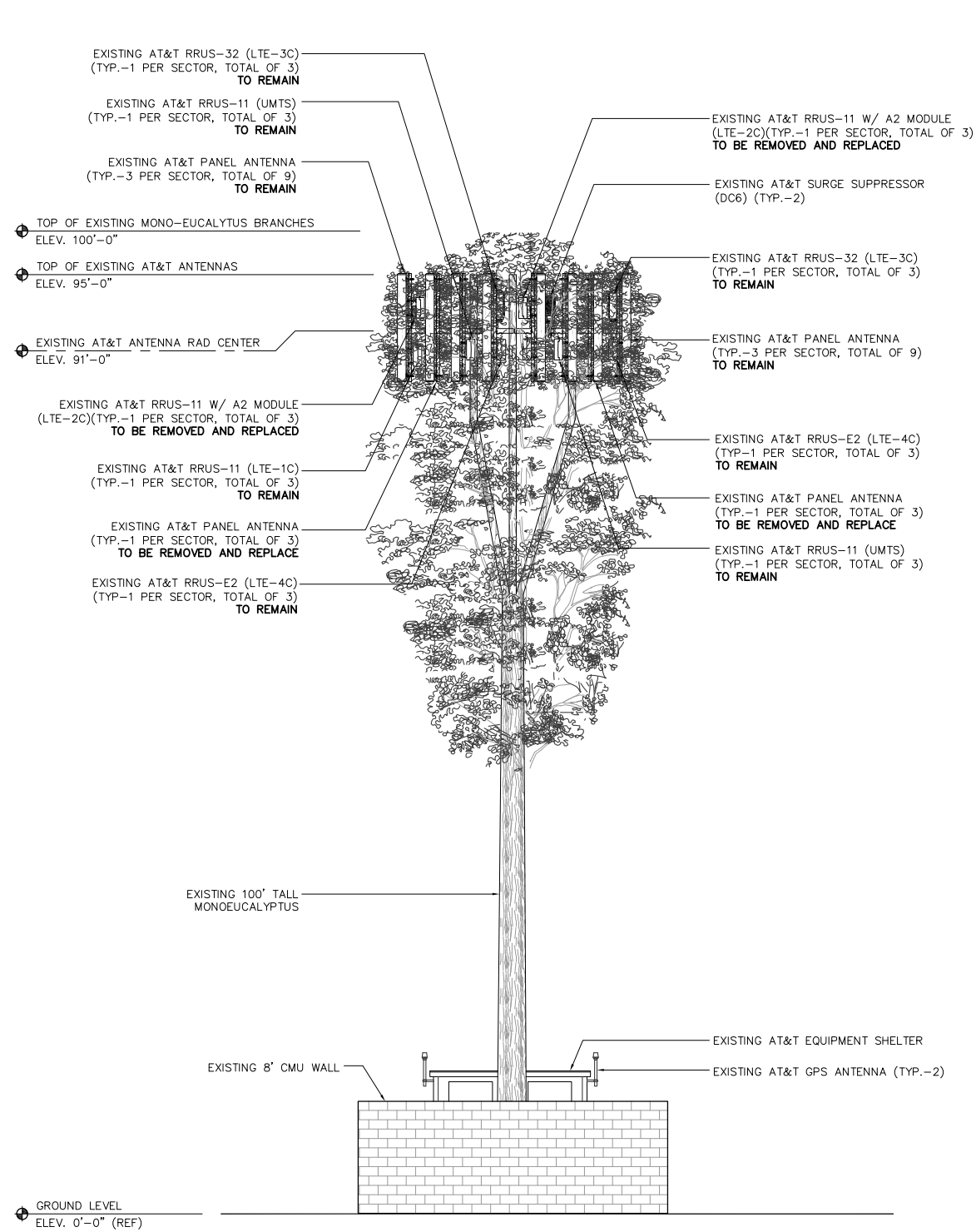
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EXISTING & NEW ANTENNA
PLAN AND SCHEDULE

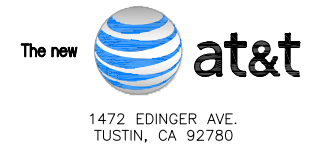
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A-3

SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.



APPLICANT:



ENGINEER:



DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

REVISIONS:

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 03/02/18 | SCE COMMENTS |
| 0 | 02/12/18 | 100% CONSTRUCTION DRAWING |
| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:

PROJECT INFORMATION:

CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
OXNARD, CA 93033

SHEET TITLE:

EXISTING AND NEW
NORTH ELEVATIONS

SHEET NUMBER:

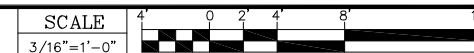
A-4

EXISTING NORTH ELEVATION



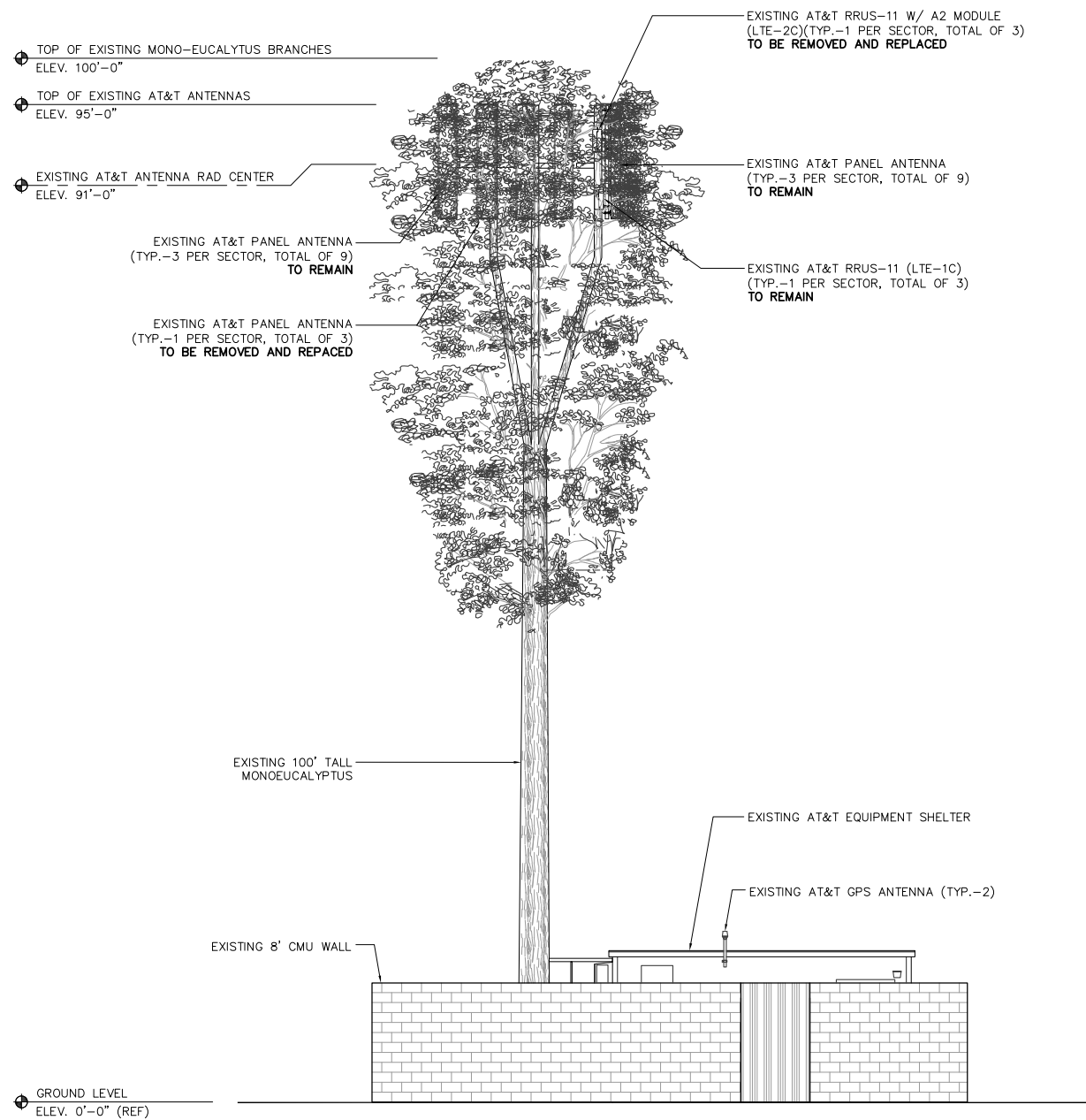
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NEW NORTH ELEVATION

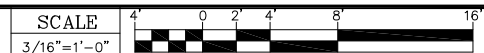


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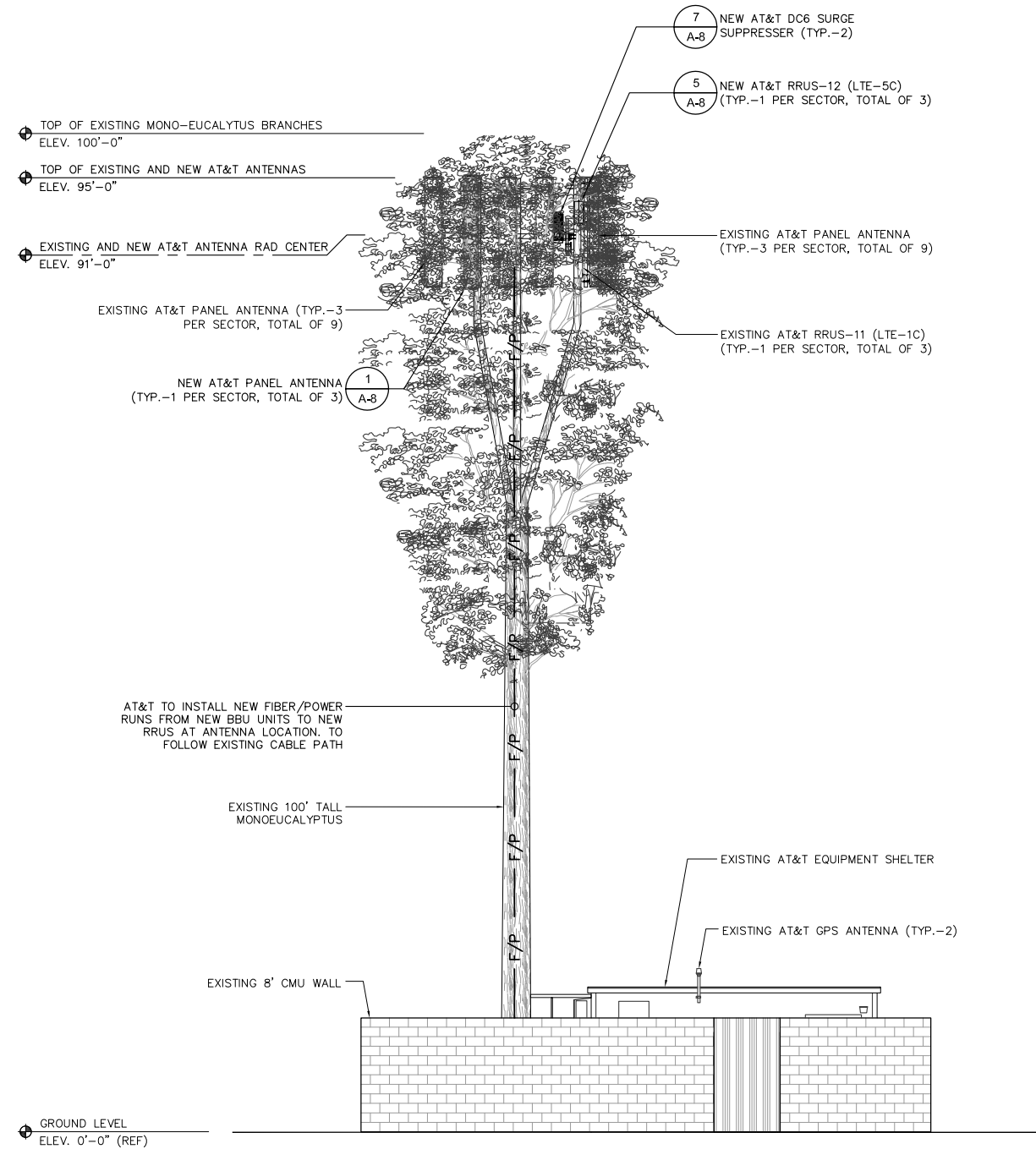
SCALE NOTE:
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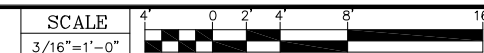
EXISTING WEST ELEVATION



1

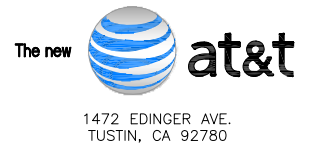


NEW WEST ELEVATION



2

APPLICANT:



ENGINEER:



DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

| REVISIONS: | | |
|------------|----------|---------------------------|
| REV | DATE | DESCRIPTION |
| 1 | 03/02/18 | SCE COMMENTS |
| 0 | 02/12/18 | 100% CONSTRUCTION DRAWING |
| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:

PROJECT INFORMATION:

CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
OXNARD, CA 93033

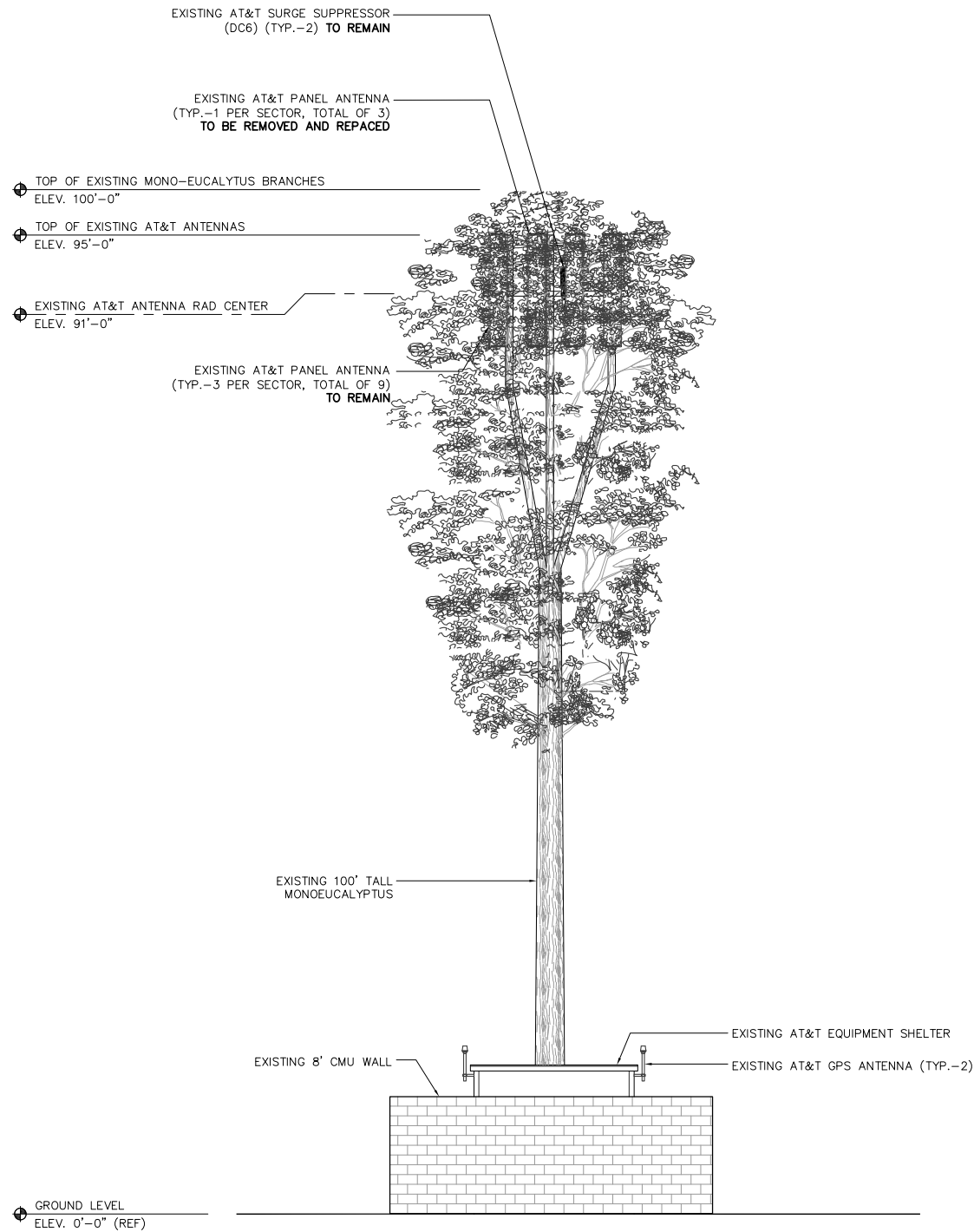
SHEET TITLE:

EXISTING AND NEW
WEST ELEVATIONS

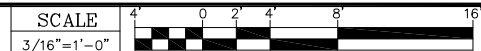
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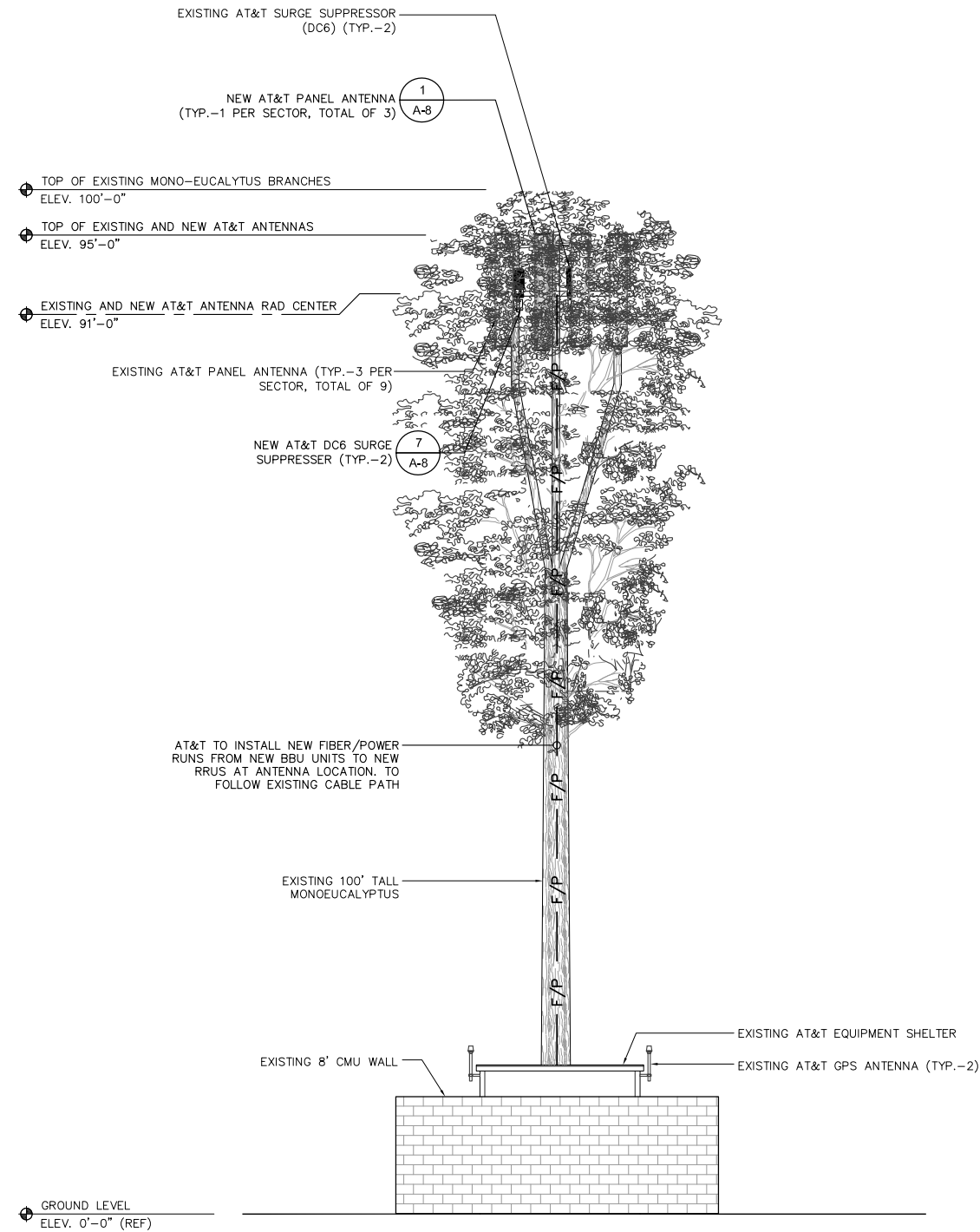
SCALE NOTE:
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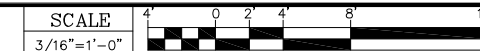
EXISTING SOUTH ELEVATION



1

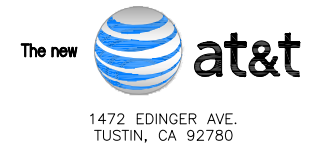


NEW SOUTH ELEVATION



2

APPLICANT:



ENGINEER:



DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

REVISIONS:

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 03/02/18 | SCE COMMENTS |
| 0 | 02/12/18 | 100% CONSTRUCTION DRAWING |
| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:

PROJECT INFORMATION:

CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
OXNARD, CA 93033

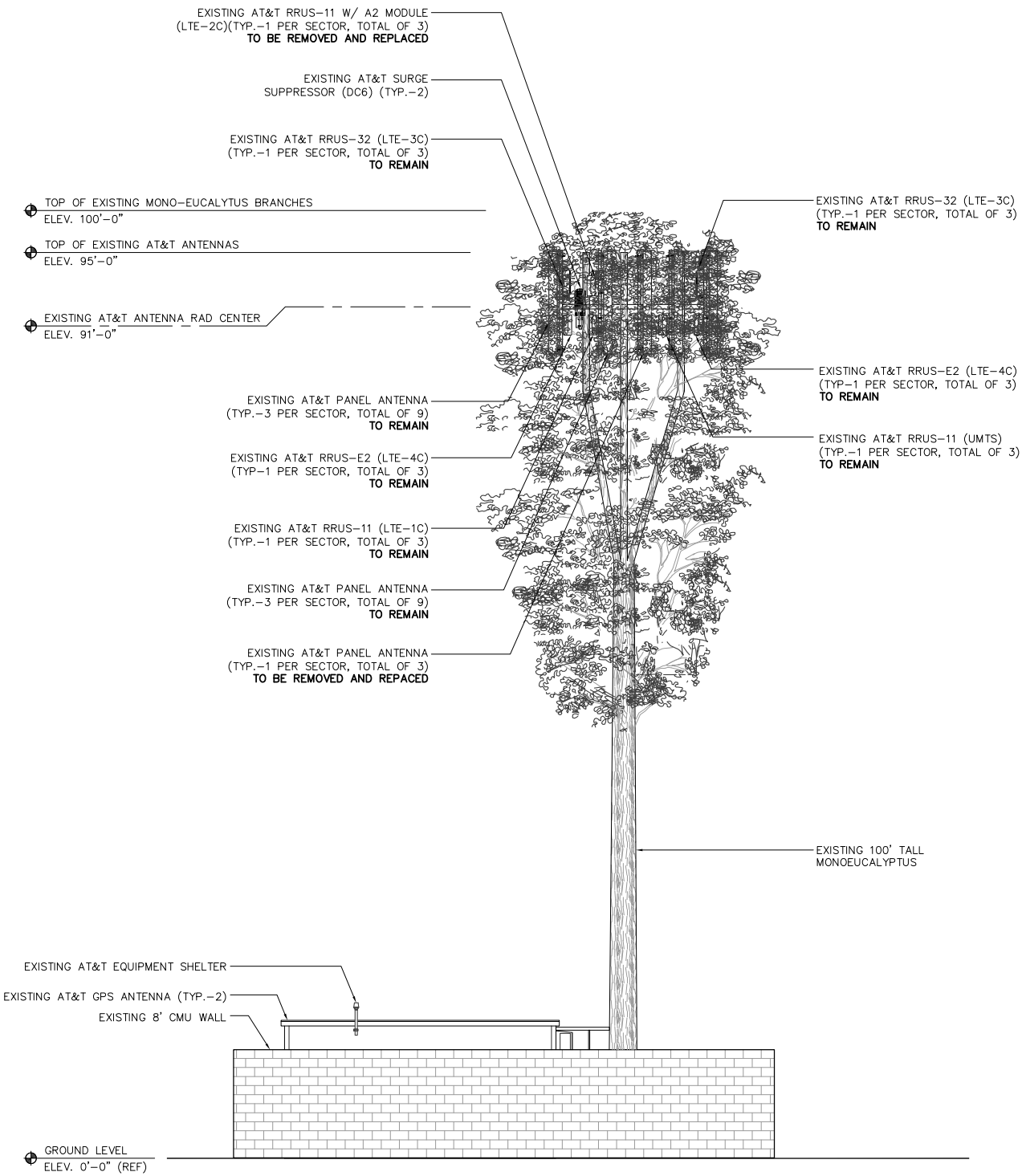
SHEET TITLE:

EXISTING AND NEW
SOUTH ELEVATIONS

SHEET NUMBER:

A-6

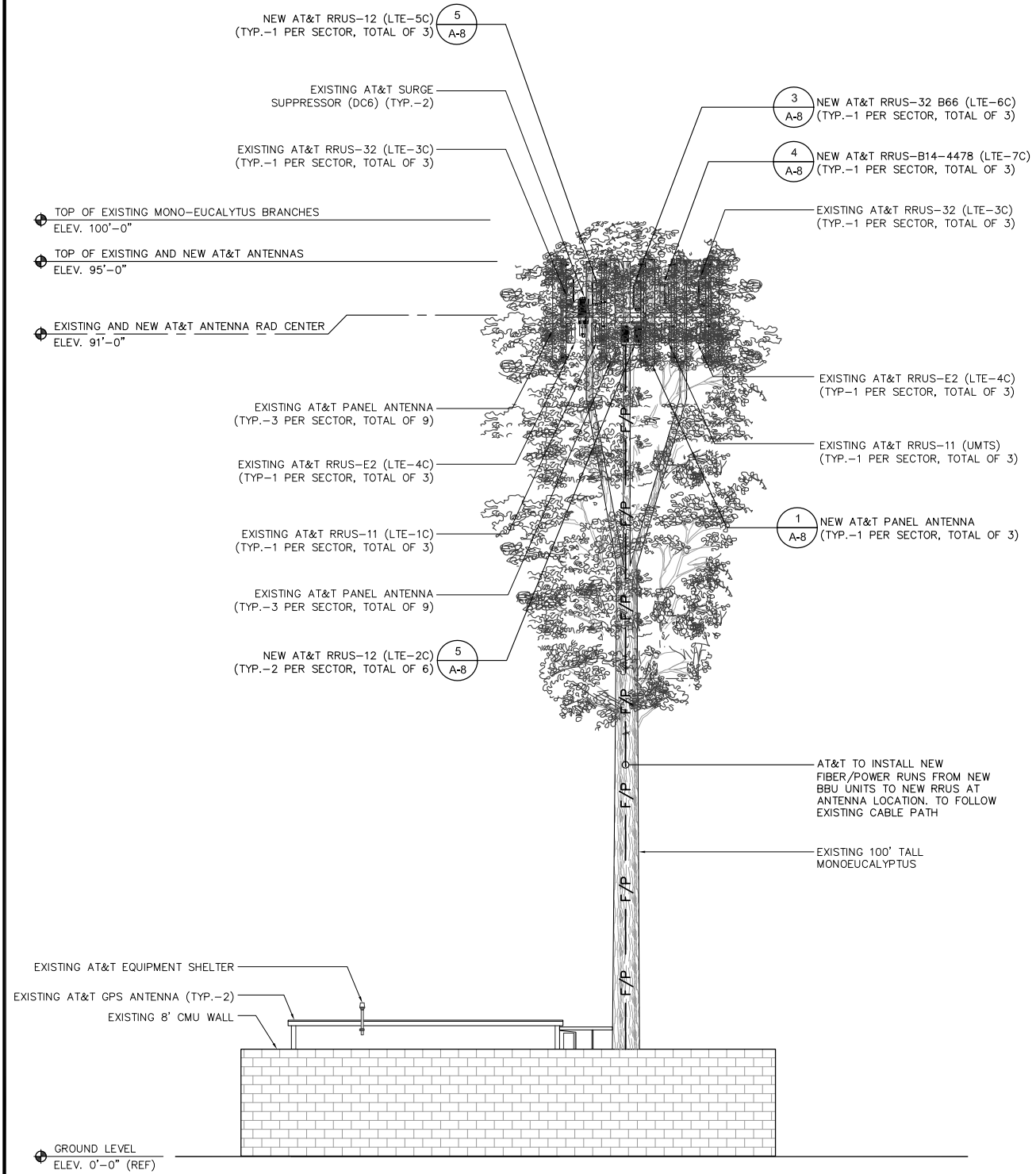
SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.



EXISTING EAST ELEVATION



1

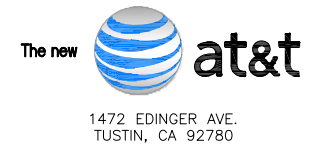


NEW EAST ELEVATION



2

APPLICANT:



ENGINEER:



DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

REVISIONS:

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 03/02/18 | SCE COMMENTS |
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LICENSER:

PROJECT INFORMATION:

CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
OXNARD, CA 93033

SHEET TITLE:

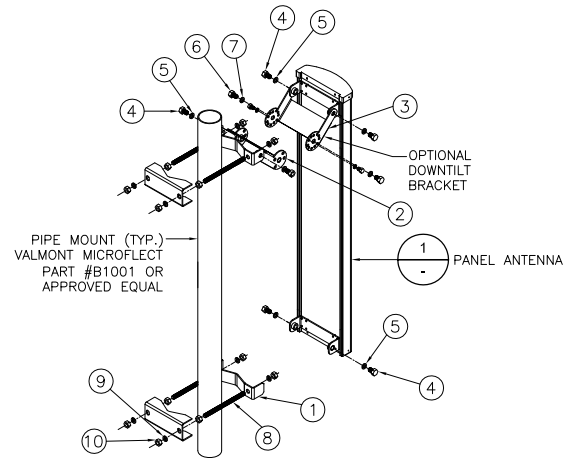
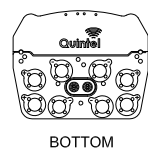
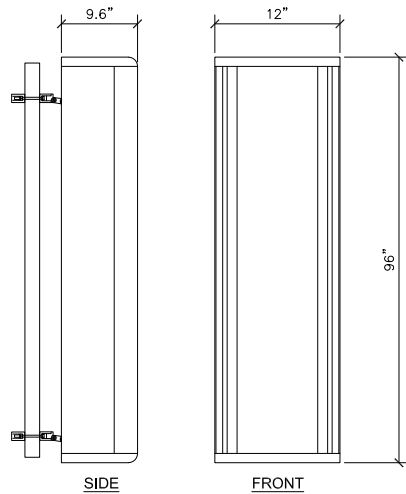
EXISTING/ NEW EAST
ELEVATIONS

SHEET NUMBER:

A-7

QUINTEL - QS8658-3

DIMENSIONS (LxWxD): 96.0 x 12 x 9.6 INCHES (2438 x 304 x 245 mm)
 WEIGHT EXCL MOUNTING BRACKETS: 98lbs (44.4 kg)
 NO. OF CONNECTORS: 8x 7/16 DIN FEMALE LONG NECK
 MAX WIND SPEED: 150mph (67m/s)
 EQUIVALENT FLAT PLATE AREA: FRONT: 3.2 ft² (0.30 m²) SIDE: 6.1 ft² (0.57 m²)
 WIND LOAD @ 160km/h (45m/s): FRONT: 352N (79.2 lbs), SIDE: 680N (153 lbs)
 OPERATING TEMPERATURE: -40°C TO +65°

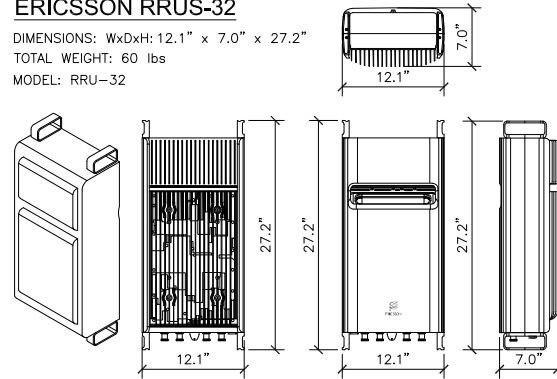


- NOTES:**
1. INSERT SCISSOR BRACKETS BETWEEN THE UPPER ANTENNA MOUNTING BRACKET AND THE UPPER POLE ADAPTER BRACKET. SECURE USING 1/2 INCH HARDWARE PROVIDED.
 2. TO SET THE DEGREE OF DOWNTILT, ALIGN THE DESIRED HOLES ON THE SCISSOR BRACKETS AND SECURE USING 5/16 INCH HARDWARE PROVIDED.
 3. THE NUMBER OF CONNECTORS WILL VARY BASED ON ANTENNA TYPE.

| ITEM | QTY | DESCRIPTION |
|------|-----|----------------------------|
| ① | 1 | ADAPTER, POLE, LOWER |
| ② | 1 | BRACKET, DOWNTILT, POLE |
| ③ | 1 | BRACKET, DOWNTILT, ANTENNA |
| ④ | 6 | 1/2 x 1 HEX HEAD BOLT |
| ⑤ | 6 | 1/2 SPLIT WASHER |
| ⑥ | 2 | 5/16 x 1 HEX HEAD BOLT |
| ⑦ | 2 | 5/16 SPLIT WASHER |
| ⑧ | 4 | 1/2" THREADED ROD |
| ⑨ | 8 | 1/2" SPLIT WASHER |
| ⑩ | 12 | 1/2" NUT |

ERICSSON RRUS-32

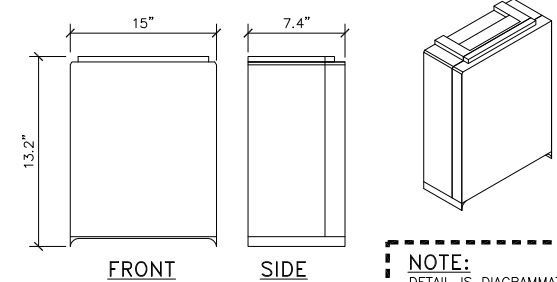
DIMENSIONS: WxDxH: 12.1" x 7.0" x 27.2"
 TOTAL WEIGHT: 60 lbs
 MODEL: RRU-32



RRUS-32 SPECIFICATION

ERICSSON B14 4478 RRH

DIMENSIONS, WxDxH: 15" x 13.2" x 7.4"
 POWER CONSUMPTION: 4 x 40W FOR 4T4R OR 2 SECTORS AT 2x40W FOR 2T2R
 WEIGHT: 60 LBS.
 ONE CPRI CONNECTION PER RRH

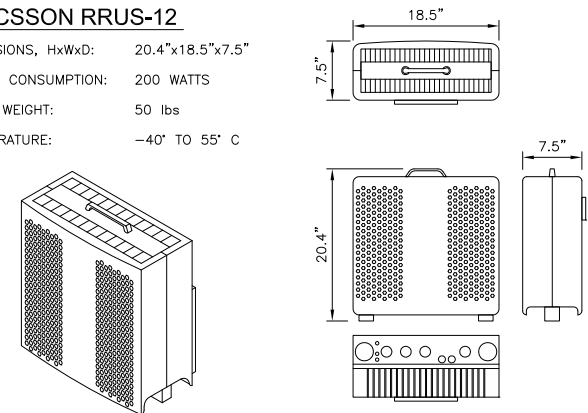


NOTE:
 DETAIL IS DIAGRAMMATIC. SEE EQUIPMENT SPEC SHEET.

RRUS-B14-4478 SPECIFICATION

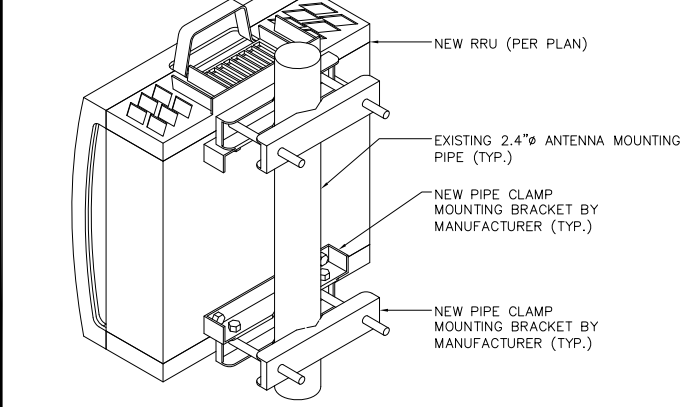
ERICSSON RRUS-12

DIMENSIONS, HxWxD: 20.4"x18.5"x7.5"
 POWER CONSUMPTION: 200 WATTS
 TOTAL WEIGHT: 50 lbs
 TEMPERATURE: -40° TO 55° C



RRUS-12 SPECIFICATION

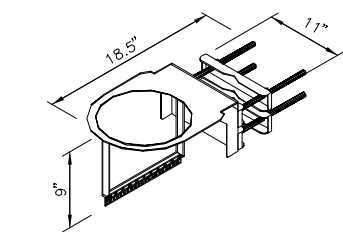
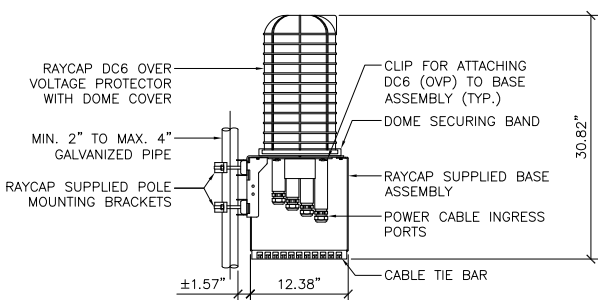
NEW RRU (PER PLAN)



ANTENNA SPECIFICATIONS

RAYCAP DC6-48-60-18-8F

DIMENSIONS (LxWxD): 280x610 mm (11"x24")
 NOMINAL OPERATING VOLTAGE: 48 VDC
 NOMINAL DISCHARGE CURRENT: 20 kA 8/20 μs
 MAXIMUM DISCHARGE CURRENT: 60 kA 8/20 μs
 MAXIMUM CONTINUOUS OPERATING VOLTAGE: 75 VAC
 VOLTAGE PROTECTION RATING: 400V
 WIND LOADING: 150 MPH (SUSTAINED), 195 MPH (GUST)
 TOTAL WEIGHT: 32.8 LBS.



- NOTES:**
1. RAYCAP VIA AT&T SUPPLIES THE DC6 OVER VOLTAGE PROTECTOR AND PIPE MOUNTING BRACKETS. SUBCONTRACTOR SHALL SUPPLY THE PIPE.

DC SURGE SUPPRESSER SPECIFICATIONS

ANTENNA MOUNTING

ERICSSON BASEBAND - 5216

DIMENSIONS (WxDxH): 31x280x350 mm (1.22"x11.02"x13.78")
 BBU 5216 CONTAINS BUILT-IN CELL SITE ROUTER FUNCTIONALITY & IS EQUIPPED WITH ETHERNET PORTS FOR TRANSPORT, WHICH CAN BE USED FOR RESILIENCY OR FOR CONNECTING SITE EQUIPMENT.
 TN A: 1x GigE (Gbps Electrical Ethernet) RJ-45 Ethernet port
 TN B and TN C: 2x 10Gbps Electrical/Optical Ethernet (SFP+)
 6x 2.5G TO 10G SFP/SFP+ + CPRI PORTS
 2x IDLE PORTS
 BBU 5216 SUPPORTS 2.5 GB, 5 GB AND 10 CPRI CONNECTIONS.

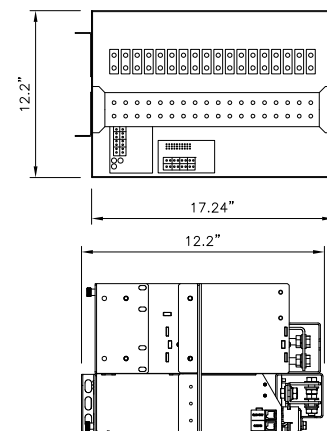
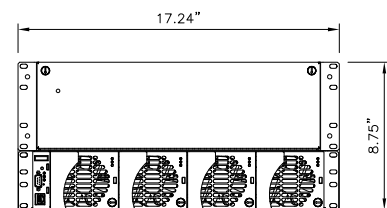


BBU 5216 SPECIFICATION

DC TO DC CONVERTER SPECIFICATIONS

ARGUS CXPS: 24-48VDC CONVERTER

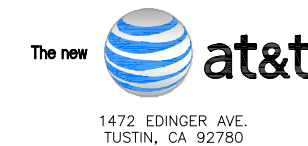
DIMENSIONS, WxDxH: 222Hx438Wx310Dmm (8.75"x17.24"x12.2")
 WEIGHT: 42 lbs
 INPUT VOLTAGE: +21TO +30Vdc
 OUTPUT VOLTAGE: -48 TO -54Vdc
 MOUNTING: 19/23" UNIVERSAL MOUNT (CENTER OR FLUSH)



NOT USED

NOT USED

APPLICANT:



ENGINEER:



630 S. GRAND AVE., SUITE 101
 SANTA ANA, CA 92705
 TEL: (949) 553-8566

DRAWN BY: AG/EC/MAG
 CHECKED BY: JJD

REVISIONS:

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 03/02/18 | SCE COMMENTS |
| 0 | 02/12/18 | 100% CONSTRUCTION DRAWING |
| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:

PROJECT INFORMATION:

CSL01474 (VN0274)
 SCE PLEASANT VALEY RD.
 5498 EDISON DR.
 OXNARD, CA 93033

SHEET TITLE:

EQUIPMENT DETAILS SPECIFICATIONS

SHEET NUMBER:

A-8

NOT USED

NOT USED

11

CCI - HPA-65R-BUU-H8

DIMENSIONS (LxWxD): 92.4 x 14.8 x 7.4 INCHES
(1218 x 376 x 229 mm)

SURVIVAL WIND SPEED: > 150 mph

FRONT WIND LOAD: 332 lbs (1479 N) @ 100 mph (161 kph)

SIDE WIND LOAD: 193 lbs (860 N) @ 100 mph (161 kph)

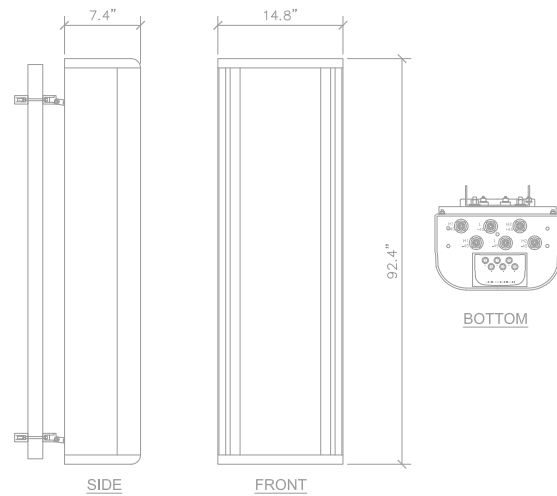
EQUIVALENT FLAT PLATE AREA: 13.0 ft² (1.2 m²)

WEIGHT (WITHOUT MOUNTING): 68 lbs (31 kg)

RET SYSTEM WEIGHT: 5.0 lbs (2.25 kg)

CONNECTOR: 6; 7-16 DIN FEMALE LONG NECK

MOUNTING POLE: 2-5 INCHES (5-12 cm)



ANDREW - SBNHH-1D65C

RADOME COLOR/MATERIAL: LIGHT GRAY / FIBERGLASS, UV RESISTANT

CONNECTOR INTERFACE / LOCATION / QUANTITY: 7-16 DIN FEMALE/BOTTOM/6

WIND LOADING, MAXIMUM: 879.0 N @ 150 km/h
197.6 lbf @ 150 km/h

WIND SPEED, MAXIMUM: 241.4 km/h / 150.0 mph

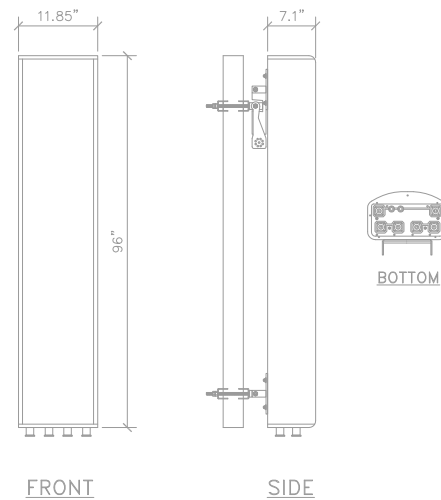
DEPTH: 181.0 mm / 7.1 in

LENGTH: 2438.40 mm / 96 in

WIDTH: 301.00 mm / 11.85 in

NET WEIGHT: 30.00 kg / 66.14 lbs

RET INTERFACE: RS-485 Female (daisy chain port, 1)
RS-485 Male (input port, 1)

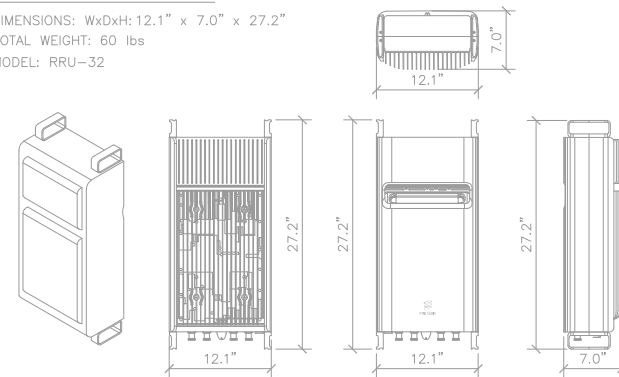


ERICSSON RRUS-32

DIMENSIONS: WxDxH: 12.1" x 7.0" x 27.2"

TOTAL WEIGHT: 60 lbs

MODEL: RRU-32



RRUS-32 SPECIFICATION

3

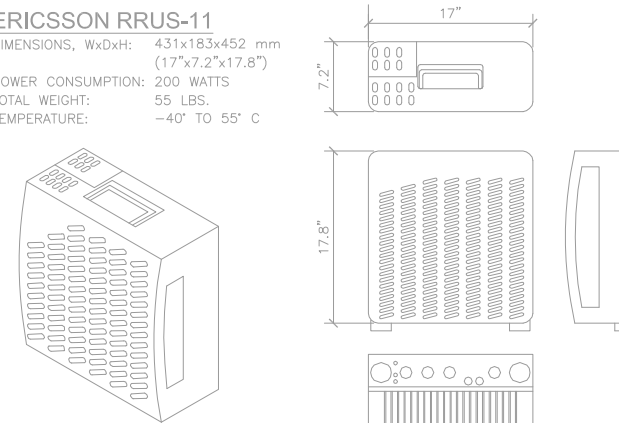
ERICSSON RRUS-11

DIMENSIONS, WxDxH: 431x183x452 mm
(17"x7.2"x17.8")

POWER CONSUMPTION: 200 WATTS

TOTAL WEIGHT: 55 LBS.

TEMPERATURE: -40° TO 55° C



ANTENNA SPECIFICATIONS

1

ANTENNA SPECIFICATIONS

2

RRUS-11 SPECIFICATION

4

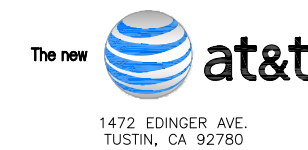
NOT USED

5

NOT USED

11

APPLICANT:



ENGINEER:



630 S. GRAND AVE., SUITE 101
SANTA ANA, CA 92705
TEL: (949) 553-8566

DRAWN BY: AG/EC/MAG
CHECKED BY: JJD

REVISIONS:

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| A | 08/03/17 | 90% CONSTRUCTION DRAWING |

LICENSER:



PROJECT INFORMATION:

CSL01474 (VN0274)
SCE PLEASANT VALEY RD.
5498 EDISON DR.
OXNARD, CA 93033

SHEET TITLE:

EQUIPMENT DETAILS
SPECIFICATIONS

SHEET NUMBER:

A-9

Irrigation Legend

| Symbol | Catalogue No. | Manuf. | Description | GPM | PSI | Detail No. |
|--------|---------------|----------|----------------------|-----|-----------|--------------|
| ■ | RWS-M-B-1408 | RAINBIRD | ROOT WATERING SYSTEM | 2.0 | 30 | A, SHEET L-3 |
| X | NIBCO T-580 | NIBCO | MASTER SHUTOFF VALVE | | | B, SHEET L-3 |
| ⊕ | PGA SERIES | RAINBIRD | REMOTE CONTROL VALVE | | SET 30PSI | C, SHEET L-3 |
| C | ESP-SMT4 | RAINBIRD | 4-STATION OUTDOOR | | | D, SHEET L-3 |
| R | RAIN CLIK | HUNTER | RAIN SENSOR | | | |

— Schedule 40 PVC. Main Line Pipe @ 24" Depth (Exact depth at future sewer easement) (3/4" Diameter Unless Otherwise Indicated)

— Class 200 PVC Pipe @ 18" Min. Depth (3/4" Diameter Unless Otherwise Indicated)



NOTES:
Controller Device. Install new controller only if one does not exist or existing controller does not meet current City standards.

IRRIGATION NOTES

1. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO PREVENT RUNOFF, OVER-SPRAY, LOW-HEAD DRAINAGE AND OTHER SIMILAR CONDITIONS. SOIL TYPES AND INFILTRATION RATES SHALL BE CONSIDERED WHEN DESIGNING IRRIGATION SYSTEMS. IRRIGATION SYSTEM SHALL BE DESIGNED, CONSTRUCTED, MANAGED, AND MAINTAINED TO ACHIEVE AS HIGH AN OVERALL EFFICIENCY AS POSSIBLE.
2. ALL IRRIGATION SYSTEMS SHALL INCLUDE:
 - A. A SMART IRRIGATION CONTROLLER, OR OTHER EQUIVALENT TECHNOLOGY WHICH AUTOMATICALLY ADJUSTS THE FREQUENCY AND/ OR DURATION OF IRRIGATION EVENTS IN RESPONSE TO CHANGING WEATHER CONDITIONS. SHALL BE REQUIRED.
 - B. A RAIN SENSOR WITH AN AUTOMATIC RAIN SHUTOFF FEATURE SHALL BE REQUIRED.

INSPECTION NOTES

1. PRIOR TO START OF WORK THE CONTRACTOR AND OWNERS REPRESENTATIVE SHALL MEET AND REVIEW UTILITIES AND EXISTING SITE CONDITIONS. AT COMPLETION OF WORK A FINAL INSPECTION SHALL BE MADE AND ACCEPTED BY OWNER AND GOVERNING JURISDICTION.
2. THIS PLAN IS DIAGRAMMATIC AND ALLOWS FOR ADJUSTMENT TO BE MADE TO ACCOMMODATE EXISTING SITE CONDITIONS.
3. LANDSCAPE INSTALLATION SHALL MEET STANDARD SHOWN UNLESS SUPERSEDED BY LOCAL STANDARDS.
4. PRECAUTIONS SHALL BE TAKEN TO PROTECT ALL UTILITIES, STRUCTURES ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGES AND REPLACEMENT.
5. THE CONTRACTOR SHALL REMOVE ALL DEBRIS, WEEDS AND TRASH FROM COMMUNICATION SITE AREA AT COMPLETION OF WORK.
6. CONTRACTOR TO MAINTAIN SITE FOR 90 DAYS.
7. THE MAINTENANCE OF THE COMMUNICATION SITE IS DEFINED WITHIN MAINTENANCE AGREEMENT WITH OWNER.

P.O.C.

CONTRACTOR TO CONNECT TO EXISTING IRRIGATION AT LOCATION OF EXISTING CONTROLLER VALVES (SEE PLAN). CONTRACTOR TO REPLACE EXISTING VALVE WITH NEW. CONTRACTOR TO INSPECT ALL MAINLINE AND LATERAL LINES AND REPLACE IF DAMAGED OR WORN. CONTRACTOR TO REPLACE ALL SPRAYHEADS AT EXISTING PLANTERS WITH NEW HEADS (PER PLAN AND DETAILS, SHEET L-2). CONTRACTOR TO ADD NEW SMART CONTROLLER WITH RAIN-CLIK (PER NOTES, THIS PAGE).

DIG-ALERT NOTE

1. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT BEFORE START OF CONSTRUCTION (2 WORKING DAYS OR 48 HOURS). CONTRACTOR SHALL VERIFY EXISTING LOCATION OF UTILITIES AS NECESSARY TO IDENTIFY LOCATION.

MAINTENANCE NOTE

LANDSCAPE TO BE PROPERLY MAINTAINED IN A HEALTHY CONDITION FREE OF WEEDS, PESTS OR DISEASES. MAINTENANCE RESPONSIBILITY TO BE NEGOTIATED BETWEEN PROPERTY OWNER AND AT&T.

LANDSCAPE CONTRACTOR NOTES

1. LANDSCAPE CONTRACTOR HIRED TO INSTALL PROPOSED LANDSCAPING SHALL BE C-27 CERTIFIED.

IRRIGATION DETAIL NOTES

1. APPLY TEFLON TAPE TO ALL THREADED PIPE CONNECTIONS.

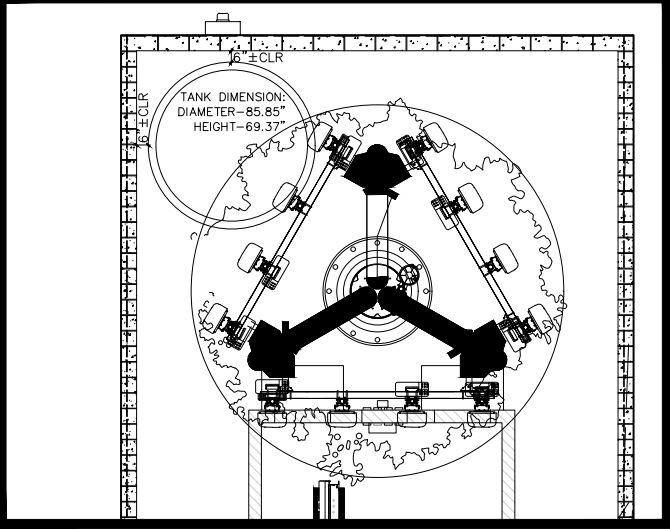
WATER TANK

WATER TANK TO BE 1,500 GALLON PLASTIC TANK BY LOOMIS TANK CENTER (800.549.5514). PRODUCT NUMBER TO BE L51WX46 (86" w x 70" h). OR EQUAL. COLOR TO BE BLACK OR OTHER AS SELECTED BY CLIENT. CONTRACTOR TO INSTALL TANK ON CONCRETE BASE AT GRADE. CONTRACTOR TO PROVIDE PUMP TO DELIVER ADEQUATE PRESSURE TO PLANT MATERIAL. REFER TO NOTE, THIS SHEET. CONTRACTOR TO PROVIDE 110V SYSTEM TO PUMP.

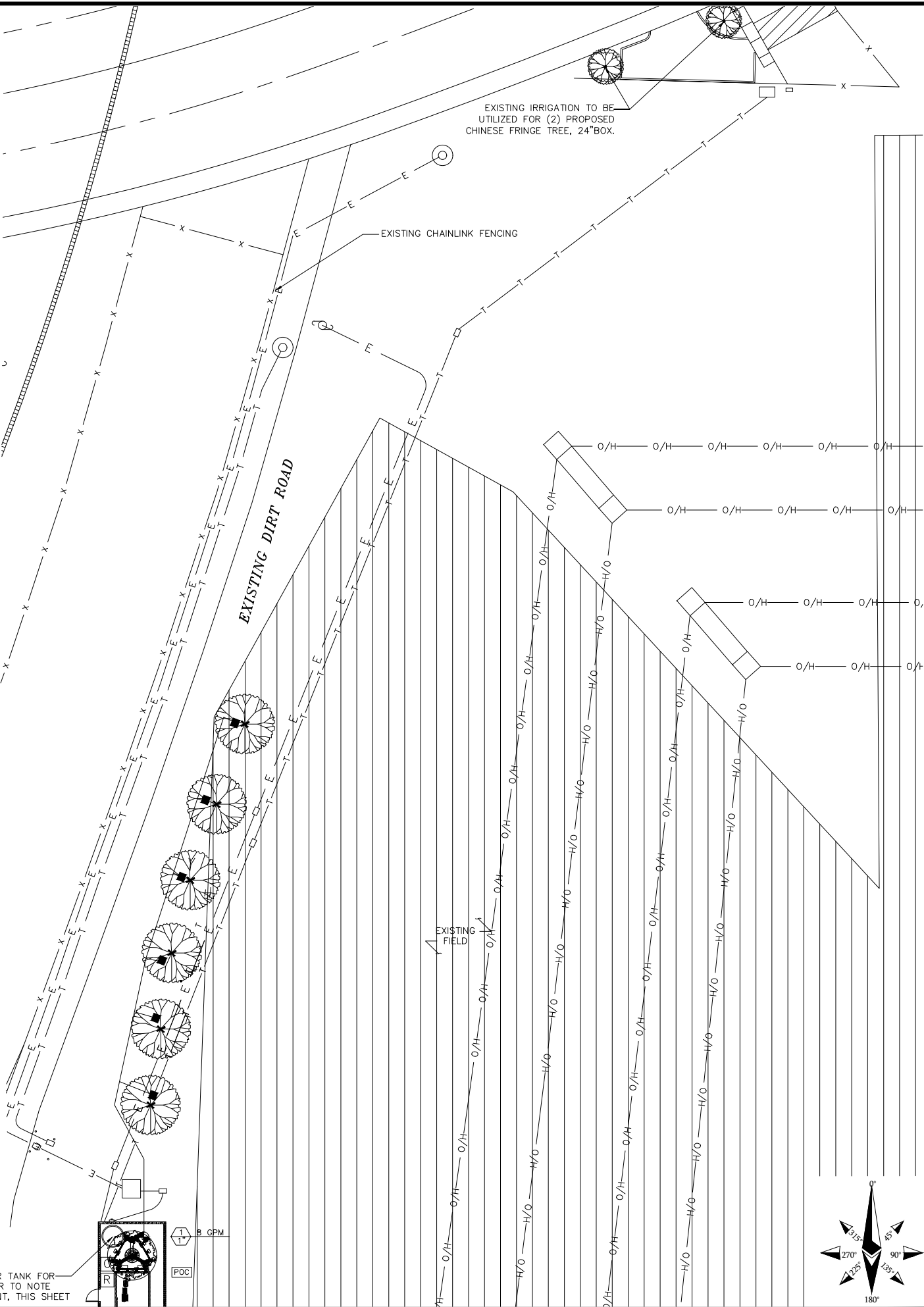
WATER PUMP NOTE:

CONTRACTOR TO INSTALL PUMP AT WATER TANK. PUMP TO BE WAHLESI 7 HP PUMP (PART #9512-WA-TQ200) OR EQUAL. CONTACT PLATIC-MART (855) 406-5051 FOR ORDERING. FINAL SPECIFICATIONS OF PUMP TO BE DETERMINED IN FIELD BASED ON FINAL DISTANCE AND ELEVATION CHANGE.

ENLARGEMENT-WATER TANK PLACEMENT/DIMENSIONS



PROPOSED WATER TANK FOR IRRIGATION. REFER TO NOTE AND ENLARGEMENT, THIS SHEET



1452 EDINGER AVE
TUSTIN, CALIFORNIA 92780



10 PASTEUR, SUITE 100
IRVINE, CALIFORNIA 92618



1875 CORONADO AVE
SIGNAL HILL, CALIFORNIA 90755

A NUWAVE COMPANY

| REV | DATE | DESCRIPTION | INT |
|-----|----------|-----------------|-----|
| 2 | 03/23/22 | LANDSCAPE PLANS | SA |
| 1 | 02/11/22 | LANDSCAPE PLANS | SA |
| 0 | 05/13/21 | LANDSCAPE PLANS | GC |



CS DG
6865 El Camino Real
Suite 105-482
Carlsbad, CA 92009
(P) 760-272-5742
(F) 760-454-3067

CS Design Group, Inc.
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

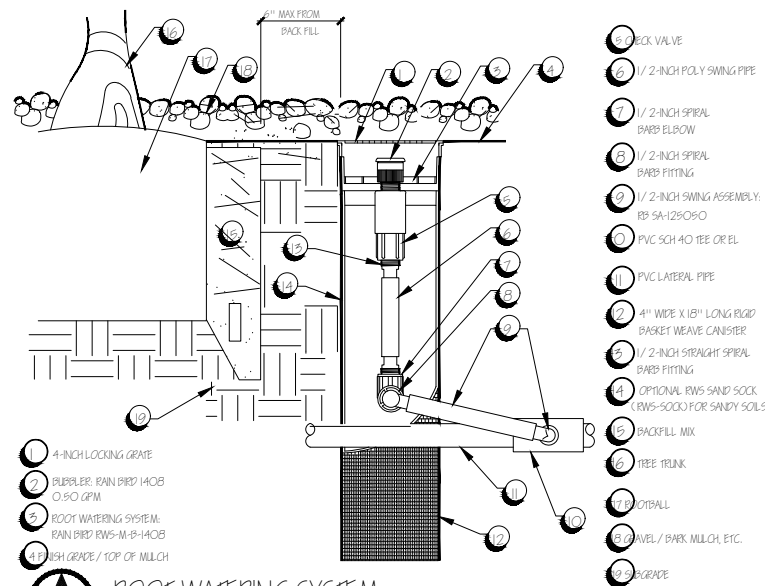
CSL01474 (VN0274)
SCE PLEASANT VALLEY RD.
5498 EDISON DR.
OXNARD, CA 93033

SHEET TITLE
IRRIGATION PLAN

SHEET NUMBER
L-1

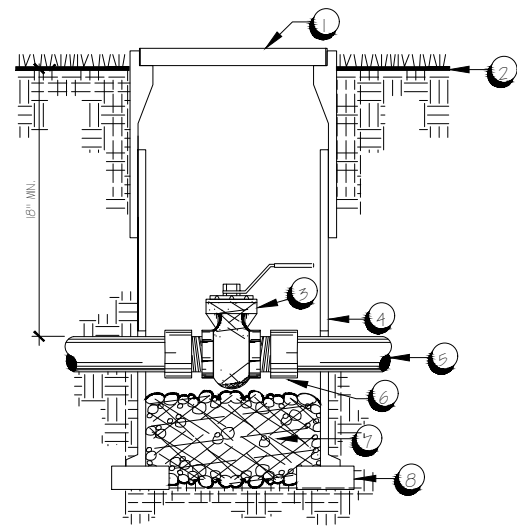
REFER TO SHEET L-2 FOR IRRIGATION DETAILS

IRRIGATION PLAN



- 1 4-INCH LOCKING GRATE
- 2 BUBBLER, RAIN PRED 140B 0.50 GPM
- 3 ROOT WATERING SYSTEM, RAIN PRED RWS-M-8-140B
- 4 FINISH GRADE / TOP OF MULCH
- 5 1/2-INCH SWING PIPE
- 6 1/2-INCH SPIRAL BARB ELBOW
- 7 1/2-INCH SPIRAL BARB FITTING
- 8 PVC SCH 40 TEE OR ELB
- 9 PVC SCH 40 TEE OR ELB
- 10 PVC LATERAL PIPE
- 11 4" WIDE X 18" LONG RIGID BASKET WEAVE CANISTER
- 12 1/2-INCH STRAIGHT SPIRAL BARB FITTING
- 13 OPTIONAL RMS SAND SOCK (RWS-3000) FOR SANDY SOILS
- 14 BACKFILL MIX
- 15 TREE TRUNK
- 16 OTDRALL
- 17 LEVEL / DARK MULCH, ETC.
- 18 GRADE

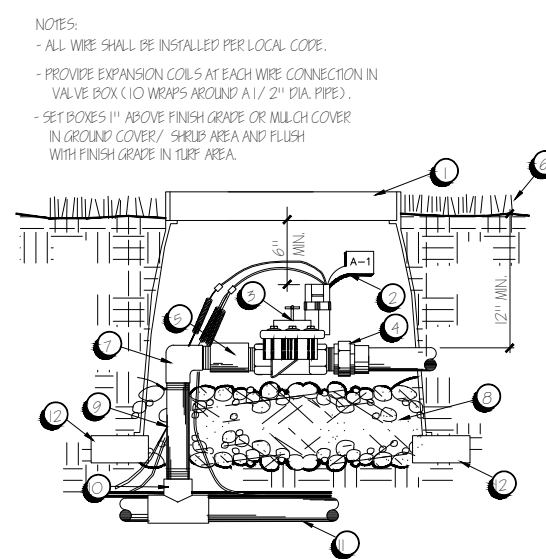
A ROOT WATERING SYSTEM
N.T.S.



- 1 1.5" DIAMETER ROUND GREEN PLASTIC VALVE BOX W/ G.V. BURIED INTO LID (MIN. 2" HIGH)
- 2 FINISH GRADE
- 3 BALL VALVE, LINE SIZE
- 4 VALVE BOX EXTENSION, LENGTH AS REQUIRED
- 5 PVC MAINLINE
- 6 PVC MALE ADAPTER
- 7 3/4" PEA GRAVEL
- 8 BRICK SUPPORTS

NOTE: UTILIZE PURPLE VALVE BOXES FOR RECLAIMED LINES

B BRASS BALL VALVE
N.T.S.

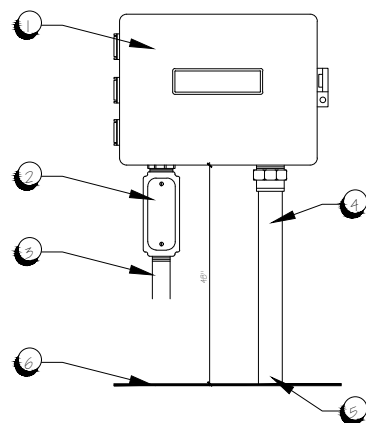


NOTES:
- ALL WIRE SHALL BE INSTALLED PER LOCAL CODE.
- PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX (10 WRAPS AROUND A 1/2" DIA. PIPE).
- SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/ SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.

- 1 AMETEK GREEN PLASTIC VALVE BOX W/ GREEN LOCKING COVER OR EQUAL AND "RMV" BURIED INTO LID (MIN. 2" HIGH)
- 2 CHRISTY I.D. TAG, NUMBERED TO MATCH PLANS
- 3 CONTROL VALVE
- 4 PVC UNION
- 5 PVC SCH. 80 NIPPLE (TYP.)
- 6 FINISH GRADE; COMPACT SOIL AROUND VALVE BOX
- 7 PVC SCH. 40 S AND T ELL
- 8 3/4" PEA GRAVEL
- 9 PVC SCH. 40-1120 PIPE
- 10 PVC SLIP FITTING
- 11 PVC MAINLINE
- 12 BRICK SUPPORTS

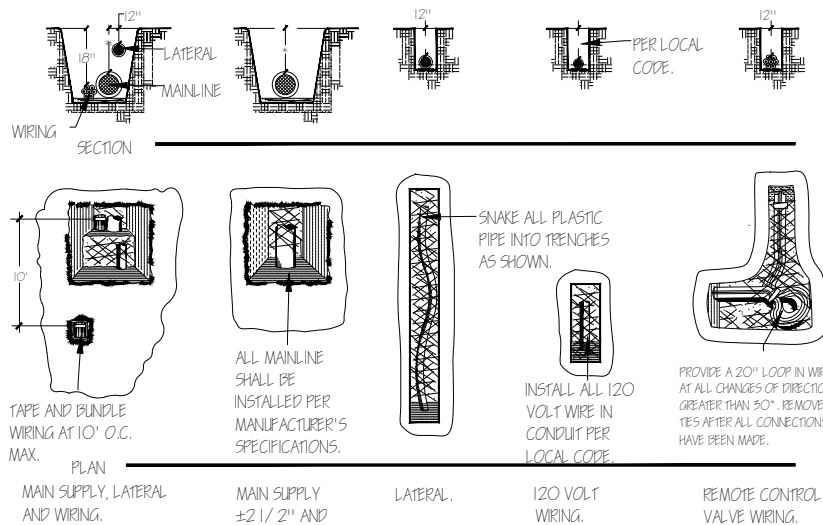
C REMOTE CONTROL VALVE
N.T.S. B.G. STANDARD

NOTE: ALL ELECTRICAL WORK SHALL COMPLY W/ LOCAL AND NATIONAL CODES.
ELECTRICAL METER TO BE INSTALLED OPPOSITE SIDE IRRIGATION CONTROLLER PER MFG.'S SPECIFICATIONS.



- 1 IRRIGATION CONTROLLER MOUNTED TO WALL. REFER TO IRRIGATION LEGEND, SHEET L-1 FOR CONTROLLER SPECIFICATIONS.
- 2 JUNCTION BOX BY GENERAL CONTRACTOR.
- 3 110V WIRE AND CONDUIT TO ELECTRICAL CONNECTION BY GENERAL CONTRACTOR.
- 4 2" CONDUIT AT MINIMUM 18" BELOW GRADE AND INSTALL TO 3" ON OUTSIDE WALL.
- 5 CONTROL WIRES TO REMOTE CONTROLLER VIA MAINLINE TRENCH.
- 6 FINISH GRADE.

D WALL MOUNTED CONTROLLER
N.T.S.



E PIPE & WIRE TRENCHING DETAIL
N.T.S.



1452 EDINGER AVE
TUSTIN, CALIFORNIA 92780



10 PASTEUR, SUITE 100
IRVINE, CALIFORNIA 92618

PLANS PREPARED BY:



1875 CORONADO AVE
SIGNAL HILL, CALIFORNIA 90755

A NUWAVE COMPANY

| REV | DATE | DESCRIPTION | INT |
|-----|----------|-----------------|-----|
| 2 | 03/23/22 | LANDSCAPE PLANS | SA |
| 1 | 02/11/22 | LANDSCAPE PLANS | SA |
| 0 | 05/13/21 | LANDSCAPE PLANS | GC |



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CS Design Group, Inc.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

CSL01474 (VN0274)
SCE PLEASANT VALLEY RD.
5498 EDISON DR.
OXNARD, CA 93033

SHEET TITLE
IRRIGATION
DETAILS

SHEET NUMBER
L-2



Exhibit 4

PL22-0158 AT&T SCE PLEASANT VALLEY CONSISTENCY WITH THE GENERAL PLAN

The 2040 Ventura County General Plan *Goals, Policies and Programs* (2020, page 1-1) states:

All area plans, specific plans subdivision, public works projects, and zoning decisions must be consistent with the direction provided in the County's General Plan.

Furthermore, the Ventura County NCZO (Section 8111-1.2.1.1.a) states that in order to be approved, a project must be found consistent with all applicable policies of the Ventura County General Plan.

Evaluated below is the consistency of the proposed project with the applicable policies of the General Plan *Goals, Policies and Programs*.

- 1. LU-16.1 Community Character and Quality of Life:** *The County shall encourage discretionary development to be designed to maintain the distinctive character of unincorporated communities, to ensure adequate provision of public facilities and services, and to be compatible with neighboring uses.*

The existing facility is designed to have the least amount of visual impact while ensuring the adequate provision of public facilities and services. The WCF will provide radio telecommunication services to the surrounding area and is compatible with the neighboring uses. The existing WCF is designed as a faux Eucalyptus tree and located on an already denuded piece of the property with other existing WCF's and SCE transmission towers and lines. No new land use conflicts or visual impacts would occur with the minor modification and continued use of the WCF. There are no proposed operational changes, and the minor physical changes would enhance the facilities view from offsite viewpoints. Lastly, no water is required for this project.

Based on the discussion above, the project is consistent with General Plan Policy LU-16.1.

- 2. LU-16.2 Urban Design Standards for Commercial and Industrial Development:** *The County shall require that discretionary commercial and industrial developments maintain high standards of urban design and environmental quality by incorporating compact form, maximizing pedestrian access and safety, and minimizing land use conflicts and traffic congestion.*

The existing WCF is a stealth antenna support structure designed as a faux Eucalyptus tree located on a piece of property with SCE transmission lines and related facilities, including an additional wireless communication facility attached to the SCE towers. The facilities design and required landscaping helps maintain a high standard of urban design and environmental quality. The stealth design of the facility and location minimizes land use conflicts and will have no impact on traffic congestion.

Based on the above discussion, the project is consistent with General Plan Policy LU-16.2.

- 3. LU-16.10 Visual Access for Rural Development:** *The County shall encourage discretionary development in rural areas to maintain views of hillsides, beaches, forests, creeks, and other distinctive natural areas through building orientation, height, and bulk.*

The existing WCF is located Southeast of the City of Oxnard on a property developed with SCE transmission lines as well as an additional WCF attached to an SCE tower. The project is designed as stealth faux Eucalyptus tree that helps maintain a high standard of urban design and environmental quality. The stealth design of the facility and location minimizes land use conflicts and maintains the existing views from public viewpoints. The addition of canopy screening trees will help screen the facility from Pleasant Valley Road.

Based on the above discussion, the project is consistent with General Plan Policy LU-16.10.

- 4. PFS-7.1 Accessible Public Utilities:** *The County shall work with utility companies and service providers to ensure that gas, electric, broadband, cellular mobile communications, cable television, and telephone utility transmission lines are located appropriately to provide for adequate services throughout the unincorporated area.*

The existing WCF will ensure that cellular mobile communications infrastructure is provided for adequate services throughout the unincorporated area. The location of the facility is sited appropriately to blend seamlessly into the surrounding environment.

Based on the above discussion, the proposed project is consistent with General Plan Policy PFS-7.1.

- 5. PFS-7.5 Broadband Service Access:** *The County shall encourage broadband service providers to expand service areas and provide high quality access to broadband (high-speed internet) and cellular mobile communications services to residents and businesses, including unserved and underserved areas.*

The existing WCF will continue to provide service to the unincorporated area outside of the City of Oxnard and residents living nearby in the unincorporated and incorporated City of Oxnard area. This site provides high quality access to cellular mobile communications. The continued use of the facility and ability to add additional antennas ensures that the residents and businesses will maintain a high quality of service for the foreseeable future.

Based on the above discussion, the proposed project is consistent with General Plan Policy PFS-7.5.

- 6. AG-1.2 Agricultural Land Use Designation:** *The County shall ensure that discretionary development located on land designated as Agricultural on the General Plan Land Use Diagram and identified as Prime Farmland or Farmland of Statewide Importance on the State's Important Farmland Inventory is planned and designed to remove as little land as possible from potential agricultural production and to minimize impacts on topsoil.*

Although the existing WCF is located on land designated as Agricultural on the General Plan Land Use Diagram and is identified as Farmland of Statewide Importance, the existing WCF is located on an already denuded piece of land occupied by SCE and transmission lines. The existing facility will not remove any land from potential agricultural production and there will be no new impacts on topsoil.

Based on the above discussion, the proposed project is consistent with General Plan Policy AG-1.2.

- 7. AG-1.8 Avoid Development on Agricultural Land:** *The County shall ensure that discretionary development located on land identified as Important Farmland on the State's Important Farmland Inventory shall be conditioned to avoid direct loss of Important Farmland as much as feasibly possible.*

The existing WCF is located on land designated as Farmland of Statewide Importance. The existing WCF is located on an already denuded piece of land occupied by SCE and transmission lines. The existing facility will not remove any land from potential agricultural production.

Based on the above discussion, the proposed project is consistent with General Plan Policy AG-1.8.

- 8. HAZ-1.1 Fire Prevention Design and Practices:** *The County shall continue to require development to incorporate design measures that enhance fire protection in areas of high fire risk. This shall include but is not limited to incorporation of fire-resistant structural design, use of fire-resistant landscaping, and fuel modification around the perimeter of structures.*

HAZ-1.2 Defensible Space Clear Zones: *The County shall require adherence to defensible space standards, or vegetation “clear zones,” for all existing and new structures in areas that are designated as Hazardous Fire Areas by the Ventura County Fire Protection District and High Fire Hazard Severity Zones by the California Department of Forestry and Fire Protection.*

The existing WCF meets all Ventura County Fire Protection District standards. The Fire Protection District has conditioned the project to comply with all requirements. No new conflicts will occur with the implementation of the proposed project.

Based on the above discussion, the proposed project is consistent with General Plan Policy HAZ-1.1 and HAZ-1.2.

EXHIBIT 5

DRAFT CONDITIONS OF APPROVAL Time Extension for previous CUP LU11-0102 Conditional Use Permit No. PL22-0158

AT&T SCE Pleasant Valley Rd-Site Number CSL01474

RESOURCE MANAGEMENT AGENCY CONDITIONS

Planning Division

1. Project Description

This Conditional Use Permit (CUP) is based on, and limited to, compliance with the project description stated in this condition, Exhibits 1-6 of the Planning Director hearing on August 24, 2023, and the remaining conditions of approval set forth below. Together, these conditions and documents describe the "Project."

Any deviations from the Project must first be reviewed by the County to determine if they conform to the conditions of approval of CUP PL22-0158. Project deviations may require a modification of this permit and further environmental review pursuant to the California Environmental Quality Act (CEQA). Any deviation from the Project that is implemented without the required County approval constitutes a violation of this permit and applicable law.

The Project description is as follows:

A Minor Modification to a CUP for the continued use, modification, operation, and maintenance of an existing AT&T WCF for a 10-year period. The existing facility is comprised of the following components:

- 100-foot-tall faux Eucalyptus Tree antenna support structure;
- Twelve (12) 8-foot-tall panel antennas mounted on the structure;
- 230-square-foot indoor equipment shelter with four (4) equipment cabinets;
- 880-square-foot lease area enclosed with a CMU wall.

The modification approved with this time extension consists of (Exhibit 6):

- The rebranch of the existing faux tree to better resemble a Eucalyptus tree;
- The addition of faux ivy to screen the equipment enclosure and prevent graffiti; and
- The planting of six (6) canopy screening trees.

The WCF is unmanned, except for occasional periodic maintenance visits, and would continue to operate 24 hours per day. The unmanned facility does not require water to operate. No exterior lighting or grading is proposed.

The development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, shall conform to the project description above and all approved County land use hearing exhibits in support of the Project and remaining conditions of approval below.

2. CUP Modification Review

Prior to undertaking any operational or construction-related activity which is not expressly described in these conditions, the Permittee shall first contact the Planning Director to determine if the proposed activity requires a modification of this CUP. The Planning Director may, at the Planning Director's sole discretion, require the Permittee to file a written and/or mapped description of the proposed activity in order to determine if a CUP modification is required. If a CUP modification is required, the modification shall be subject to:

- a. The modification approval standards of the Ventura County Ordinance Code in effect at the time the modification application is acted on by the Planning Director; and,
- b. Environmental review, as required pursuant to the California Environmental Quality Act (*CEQA*; *California Public Resources Code*, §§ 21000-21178) and the State CEQA Guidelines (*California Code of Regulations, Title 14, Chapter 3, §§ 15000-15387*), as amended from time to time.

3. Acceptance of Conditions and Schedule of Enforcement Responses

The Permittee's acceptance of this CUP and operations under this CUP shall be deemed to be acceptance by the Permittee of all conditions of this CUP. Failure to abide by and comply with any condition for the granting of this CUP shall constitute grounds for enforcement action provided in the *Ventura County Non-Coastal Zoning Ordinance* (Article 14), which include, but are not limited to, the following actions:

- Public reporting of violations to the Planning Commission and/or Board of Supervisors;

- Suspension of the permitted land uses (Condition of Approval No. 1);
- Modification of the CUP conditions listed herein;
- Recordation of a “Notice of Noncompliance” on the deed to the subject property;
- The imposition of civil administrative penalties; and/or,
- Revocation of this CUP.

It is the Permittee’s or the Permittee’s successors-in-interest’s responsibility to be aware of, and to comply with, the CUP conditions and all applicable federal, state, and local laws and regulations.

4. Time Limits

a. Use Inauguration:

- (1) The decision to grant this CUP becomes effective upon the expiration of the 10-day appeal period following the date of decision, or when any appeals of the decision are finally resolved. Once the decision becomes effective, the Permittee must obtain a Zoning Clearance for use inauguration in order to initiate the land uses set forth in Condition of Approval No. 1.
- (2) This CUP shall expire and become null and void if the Zoning Clearance for Use Inauguration has not been issued within one year from the date the CUP becomes effective (See *Ventura County Non-Coastal Zoning Ordinance* [2010, § 8111-4.7]). The Planning Director may grant a one-year extension of the deadline to obtain the Zoning Clearance for Use Inauguration if the Permittee can demonstrate to the satisfaction of the Planning Director that the Permittee has made a diligent effort to inaugurate the permitted land use, and the Permittee has requested the extension in writing prior to the expiration of the one-year period.
- (3) Prior to the issuance of the Use Inauguration Zoning Clearance, all fees and charges billed to that date by any County agency, as well as all fines, penalties, and sureties, must be paid or submitted in full. After issuance of the Use Inauguration Zoning Clearance, any final billed processing fees must be paid within 30 days of the billing date or the County may revoke this CUP.

b. Permit Expiration:

This CUP will expire on XX/XX/2033.

The uses authorized by this CUP may be temporarily extended beyond the CUP expiration date when an application for permit renewal is actively under

consideration. In accordance with § 8111-2.10 of the *Ventura County Non-Coastal Zoning Ordinance*, permits being processed for renewal shall remain in full force and effect until the renewal request is acted on when:

- (1) An application for a permit modification (renewal) is filed and accepted as “complete” by the Planning Division prior to expiration of the permit (§ 8111-6); and
- (2) The Permittee is in compliance with all terms and conditions of the original permit at the time the application for renewal is filed.

5. Documentation of Compliance with Other Agencies’ Requirements

Purpose: To ensure compliance with and notification of federal, state, or local government regulatory agencies that have requirements that pertain to the project that is the subject of this CUP.

Requirement: The Permittee shall provide the Planning Division with documentation (e.g., copies of correspondence, reports, or information related to issues permits or agreements from other agencies, which are required pursuant to a condition of this CUP) to verify that the Permittee has obtained or satisfied all applicable federal, state, and local entitlements and conditions that pertain to the project.

Documentation: The Permittee shall provide this documentation to the County Planning Division in the form that is acceptable to the agency issuing the entitlement or clearance, to be included in the Planning Division project file.

Timing: Copies of all correspondence, reports, or information related to issues covered by this permit, which are received by the Permittee from, or sent by the Permittee to, other Federal, State, or local jurisdictions or agencies shall be provided to the Planning Division within 30 days of their receipt/issuance. The documentation shall be submitted to the Planning Division prior to the issuance of the Zoning Clearance for construction or as dictated by the respective agency.

Monitoring and Reporting: The Planning Division shall maintain the documentation provided by the Permittee in the respective project file. In the event that the federal, state, or local government regulatory agency prepares new documentation due to changes in the project or the other agency’s requirements, the Permittee shall submit the new documentation within 30 days of receipt of the documentation from the other agency.

6. Notice of CUP Requirements and Retention of CUP Conditions on the Project Site

Purpose: To ensure full and proper notice of permit requirements and conditions affecting the use of the subject property.

Requirement: Unless otherwise required by the Planning Director, the Permittee shall notify, in writing, the Property Owner(s) of record, contractors, and all other parties and vendors regularly dealing with the daily operation of the proposed activities, of the pertinent conditions of this CUP.

Documentation: The Permittee shall maintain a current set of CUP conditions and exhibits at the project site.

Timing: Prior to issuance of a Zoning Clearance, the documentation of notification shall be provided. Evidence of ongoing notification shall be maintained as a public record by the Permittee for the life of the permit.

Monitoring and Reporting: The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8114-3 of the *Ventura County Non-Coastal Zoning Ordinance*.

7. Recordation of Notice of Land Use Entitlement

Purpose: To ensure compliance with applicable permit conditions and regulations pursuant to § 8111-8.3 of the *Ventura County Non-Coastal Zoning Ordinance*.

Requirement: The Permittee and Property Owner of record shall sign, have notarized, and record with the Office of the County Recorder, a "Notice of Land Use Entitlement" form furnished by the Planning Division, for the tax assessor's parcel that is subject to this CUP. The notice shall describe the responsibilities of the Property Owner and Permittee for compliance with all applicable permit conditions and regulations.

Documentation: The Permittee shall provide to the Planning Division a copy of the recorded "Notice of Land Use Entitlement".

Timing: Prior to the issuance of a Zoning Clearance for use inauguration, the "Notice of Land Use Entitlement" shall be recorded.

Monitoring and Reporting: The Permittee shall return a copy of the recorded "Notice of Land Use Entitlement" form to Planning Division staff for inclusion in the project file.

8. Financial Responsibility for Compliance Monitoring and Enforcement

- a. **Cost Responsibilities:** The Permittee shall bear the full costs of all County staff time, materials, and County-retained consultants associated with condition compliance review and monitoring, CEQA mitigation monitoring, other permit monitoring programs, and enforcement activities, actions, and processes conducted pursuant to the Ventura County Non-Coastal Zoning Ordinance (§ 8114-3) related to this CUP. Such condition compliance review, monitoring and enforcement activities may include (but are not limited to): periodic site inspections; preparation, review, and approval of studies and reports; review of permit conditions and related records; enforcement hearings and processes; drafting and implementing compliance agreements; and attending to the modification, suspension, or revocation of permits. Costs will be billed at the rates set forth in the Planning Division or other applicable County Fee Schedule, and at the contract rates of County-retained consultants, in effect at the time the costs are incurred.

- b. **Establishment of Revolving Compliance Account**

Pursuant to the requirements of CUP LU11-0102, the Resource Management Agency created Condition Compliance Case No. CC13-0029 to cover the costs associated with condition compliance review, monitoring, and enforcement activities, and any duly-imposed civil administrative penalties, regarding CUP LU11-0102. The Planning Division will continue to use Condition Compliance Case No. CC13-0029 to cover the costs associated with condition compliance review, monitoring, and enforcement activities described in subsection 10.a (above), and any duly-imposed civil administrative penalties regarding this CUP.

Within 10 calendar days of the effective date of the final decision approving this CUP, the Permittee shall submit a new, updated, and completed reimbursement agreement for Condition Compliance Case No. CC13-0029, in a form provided by the Planning Division, obligating the Permittee to pay all condition compliance review, monitoring, and enforcement costs, and any civil administrative penalties, subject to the Permittee's right to challenge all such charges and penalties prior to payment.

- c. **Billing Process:** The Permittee shall pay all Planning Division invoices within 30 days of receipt thereof. Failure to timely pay an invoice shall subject the Permittee to late fees and charges set forth in the Planning Division Fee Schedule, and shall be grounds for suspension, modification, or revocation of this CUP. The Permittee shall have the right to challenge any charge or penalty prior to payment.

9. Defense and Indemnity

- a. The Permittee shall defend, at the Permittee's sole expense with legal counsel acceptable to the County, against any and all claims, actions, or

- proceedings against the County, any other public agency with a governing body consisting of the members of the County Board of Supervisors, or any of their respective board members, officials, employees and agents (collectively, "Indemnified Parties") arising out of or in any way related to the County's issuance, administration, or enforcement of this CUP. The County shall promptly notify the Permittee of any such claim, action or proceeding and shall cooperate fully in the defense.
- b. The Permittee shall also indemnify and hold harmless the Indemnified Parties from and against any and all losses, damages, awards, fines, expenses, penalties, judgments, settlements, or liabilities of whatever nature, including but not limited to court costs and attorney fees (collectively, "Liabilities"), arising out of or in any way related to any claim, action or proceeding subject to subpart (a) above, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties.
- c. Except with respect to claims, actions, proceedings, and Liabilities resulting from an Indemnified Party's sole active negligence or intentional misconduct, the Permittee shall also indemnify, defend (at Permittee's sole expense with legal counsel acceptable to County), and hold harmless the Indemnified Parties from and against any and all claims, actions, proceedings, and Liabilities arising out of, or in any way related to, the construction, maintenance, land use, or operations conducted pursuant to this CUP, regardless of how a court apportions any such Liabilities as between the Permittee, the County, and/or third parties. The County shall promptly notify the Permittee of any such claim, action, or proceeding and shall cooperate fully in the defense.
- d. Neither the issuance of this CUP, nor compliance with the conditions hereof, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property; nor shall the issuance of this CUP serve to impose any liability upon the Indemnified Parties for injury or damage to persons or property.

10. Invalidation of Condition(s)

If any of the conditions or limitations of this CUP are held to be invalid in whole or in part by a court of competent jurisdiction, that holding shall not invalidate any of the remaining CUP conditions or limitations. In the event that any condition imposing a fee, exaction, dedication, or other mitigation measure is challenged by the Permittee in an action filed in a court of competent jurisdiction, or threatened to be filed therein, the Permittee shall be required to fully comply with this CUP, including without limitation, by remitting the fee, exaction, dedication, and/or by otherwise performing all mitigation measures being challenged. This CUP shall continue in full force unless, until, and only to the extent invalidated by a final, binding judgment issued in such action.

If a court of competent jurisdiction invalidates any condition in whole or in part, and the invalidation would change the findings, and/or the mitigation measures associated with the approval of this CUP, at the discretion of the Planning Director, the Planning Director may review the project and impose substitute feasible conditions/mitigation measures to adequately address the subject matter of the invalidated condition. The Planning Director shall make the determination of adequacy. If the Planning Director cannot identify substitute, feasible conditions/mitigation measures to replace the invalidated condition and cannot identify overriding considerations for any significant impacts that are not mitigated to a level of insignificance as a result of the invalidation of the condition, then this CUP may be revoked.

11. Consultant Review and Contracting

The County and all other County permitting agencies for the Project have the option of referring any and all special studies that these conditions may require to an independent and qualified consultant for review and evaluation of issues beyond the expertise or resources of County staff.

Prior to the County engaging any independent consultants or contractors pursuant to the conditions of this CUP, the County shall confer in writing with the Permittee regarding the necessary work to be contracted, as well as the estimated costs of such work. Whenever feasible, the County will use the lowest responsible bidder or proposer. Any decisions made by County staff in reliance on consultant or contractor work may be appealed pursuant to the appeal procedures contained in the Ventura County Zoning Ordinance Code then in effect.

The Permittee may hire private consultants to conduct work required by the County, but only if the consultant and the consultant's proposed scope-of-work are first reviewed and approved by the County. The County retains the right to hire its own consultants to evaluate any work that the Permittee or a contractor of the Permittee undertakes. In such cases, the hiring of the consultant will be at the Permittee's expense.

12. Relationship of CUP Conditions, Laws and Other Permits

The Permittee shall implement the Project in compliance with all applicable requirements and enactments of federal, state, and local authorities. In the event of conflict between various requirements, the more restrictive requirements shall apply. In the event the Planning Director determines that any CUP condition contained herein is in conflict with any other CUP condition contained herein, when principles of law do not provide to the contrary, the CUP condition most protective of public health and safety and environmental resources shall prevail to the extent feasible.

No condition of this CUP shall be interpreted as permitting or requiring any violation of law, lawful rules, or regulations, or orders of an authorized governmental agency. Neither the approval of this CUP, nor compliance with the conditions of this CUP, shall relieve the Permittee from any responsibility otherwise imposed by law for damage to persons or property.

The Permittee shall obtain/maintain a business tax certificate for the operation of the wireless communications facility. The certificate shall be prominently displayed at the Permittees' facility's business office for the life of the permit.

13. Site Maintenance

Purpose: To ensure that the Project site is maintained in a neat and orderly manner so as not to create any hazardous or unsightly conditions which are visible from outside of the Project site.

Requirement: The Permittee shall maintain the Project site in a neat and orderly manner, and in compliance with the Project description set forth in Condition of Approval No. 1. Only equipment and/or materials which the Planning Director determines to substantially comply with the Project description and approved site uses shall be stored on the site during the life of this permit.

Documentation: The Permittee shall maintain the Project site in compliance with Condition of Approval No. 1 and the approved plans for the Project.

Timing: The Permittee shall maintain the Project site in a neat and orderly manner and in compliance with Condition of Approval No. 1 throughout the life of the Project.

Monitoring and Reporting: The County Building Inspector, Public Works Agency Grading Inspector, Fire Marshall, and/or Planning Division staff has the authority to conduct periodic site inspections to ensure the Permittee's ongoing compliance with this condition consistent with the requirements of § 8114-3 of the *Ventura County Non-Coastal Zoning Ordinance*.

14. Contact Person

Purpose: To facilitate the resolution of any complaints involving the facility or its operations under this CUP.

Requirement: In order to facilitate the resolution of complaints, a contact person that represents the Permittee shall be designated. The designated contact person shall be available, via telecommunication, 24 hours a day.

Documentation: The Permittee shall provide the Planning Director with the contact information (e.g., name and/or position title, address, business and cell phone numbers, and email addresses) of the Permittee's field agent who receives all orders, notices, and communications regarding matters of condition and code compliance at the CUP site.

Timing: Prior to the issuance of a Zoning Clearance for use inauguration, the Permittee shall provide the Planning Division the contact information of the Permittee's agent(s) for the project file.

Monitoring and Reporting: The Planning Division shall maintain the contact information provided by the Permittee in the respective project file. If the address or phone number of the Permittee's agent(s) should change, or the responsibility is assigned to another person, the Permittee shall provide the Planning Division with the new information in writing within three calendar days of the change. The Planning Division has the authority to periodically confirm the contact information consistent with the requirements of § 8114-3 of the *Ventura County Non-Coastal Zoning Ordinance*.

15. Resolution of Complaints

The following process shall be used to resolve complaints related to this project:

- a. If County staff receives a written complaint about the Project, Planning Division staff may contact the Permittee's Contact Person or the Permittee to request information regarding the alleged violation.
- b. If, following a complaint investigation by County staff, a violation of Ventura County Code or a condition of this permit is confirmed, County may initiate enforcement actions pursuant to § 8114-3 of the *Non-Coastal Zoning Ordinance*.

16. Reporting of Major Incidents

Purpose: To ensure that the Planning Director is notified of major incidents within the CUP area.

Requirement: The Permittee shall immediately notify the Planning Director by telephone, email, FAX, and/or voicemail of any incidents (e.g., fires, explosions,

spills, landslides, or slope failures) that could pose a hazard to life or property within the CUP area.

Documentation: Upon request of any County agency, the Permittee shall provide a written report of any incident that shall include, but is not limited to: a description of the facts of the incident; the corrective measures used, if any; and, the steps taken to prevent a recurrence of the incident.

Timing: The Permittee shall provide the written report to the requesting County agency and Planning Division within seven days of the request.

Monitoring and Reporting: The Planning Division maintains any documentation provided by the Permittee related to major incidents in the CUP file.

17. Change of Permittee and/or Property Owner

Purpose: To ensure that the Planning Division is properly and promptly notified of any change of property ownership or change of Permittee affecting the CUP site.

Requirement: The Permittee shall file, as an initial notice with the Planning Director, the name(s), address(es), telephone number(s), and email addresses of the new owner(s), lessee(s), operator(s) of the permitted uses, and the company officer(s). Permittee shall provide the Planning Director with a final notice once the transfer of ownership and/or operational control has occurred.

Documentation: The initial notice must be submitted with the new Property Owner's and/or Permittee's contact information. The final notice of transfer must include the effective date and time of the transfer, and a letter signed by the new Property Owner(s), lessee(s), and/or operator(s) acknowledging and agreeing to comply with all conditions of this CUP.

Timing: The Permittee shall provide written notice to the Planning Director 10 calendar days prior to the change of ownership or change of Permittee. The Permittee shall provide the final notice to the Planning Director within 15 calendar days of the effective date of the transfer.

Monitoring and Reporting: The Planning Division shall maintain notices submitted by the Permittee in the project file and has the authority to periodically confirm the information consistent with the requirements of § 8114-3 of the *Ventura County Non-Coastal Zoning Ordinance*.

18. Removal of Facility for Abandonment of Use and/or Expiration of Permit

Purpose: In compliance with § 8111-2.8 and § 8111-6.2 of the *Ventura County Non-Coastal Zoning Ordinance* and in order to ensure that the use of the subject property remains compatible with existing and potential uses of other property within

the general area, the communication facility shall be removed if this CUP expires or if the facility is abandoned. The facility shall be considered to be abandoned if it has not been in use for 12 continuous months.

Requirement: Upon the expiration of this permit, or abandonment of the use, the Property Owner shall:

- a. notify the County that the Permittee has discontinued the use of the facility;
- b. remove the facility and all appurtenant structures; and,
- c. restore the premises to the conditions existing prior to the issuance of the permit, to the extent feasible, as determined by the Planning Director.

Documentation: Photos of the site after restoration is completed shall be provided to the County Planning Division.

Timing: The Property Owner shall complete the notification, removal, and restoration activities within 60 days of the expiration of this permit, or abandonment of the use, unless the Planning Director grants (in writing) additional time.

Monitoring and Reporting: The Planning Division has the authority to conduct periodic site inspections to ensure compliance with this condition consistent with the requirements of § 8114-3 of the *Ventura County Non-Coastal Zoning Ordinance*.

19. Future Co-location of Wireless Communication Facilities and Equipment

Purpose: To minimize the potential environmental impacts associated with the development of wireless communication facilities through co-location of facilities and equipment, in compliance with § 8107-45.4 of the *Ventura County Non-Coastal Zoning Ordinance*.

Requirement: The Permittee shall make the facility and site available to other telecommunication carriers and, in good faith, accommodate all reasonable requests for co-location in the future, subject to the following parameters:

- c. the party seeking the co-location shall be responsible for all facility modifications, environmental review, mitigation measures, associated costs, and permit processing;
- d. the Permittee shall not be required to compromise the operational effectiveness of its facility or place its prior approval at risk;
- e. the Permittee shall make its facilities and site available for co-location on a non-discriminatory and equitable cost basis; and,

- f. the County retains the right to verify that the use of the Permittee's facilities and site conforms to County policies.

Documentation: Permittee shall demonstrate to the satisfaction of the Planning Director that the wireless communications tower associated with the subject facility is engineered in a manner that can accommodate supplementary antennas to co-locate at least one additional telecommunication carrier.

Timing: Prior to the issuance of a Zoning Clearance for construction, the Permittee shall submit evidence to the Planning Division that the facility is engineered to accommodate the co-location of at least one additional carrier.

Monitoring and Reporting: Prior to the issuance of a Certificate of Occupancy, Building and Safety inspectors and Planning Division staff have the authority to inspect the facility to confirm that it is constructed as approved.

20. Hazardous Waste

The storage, handling, and disposal of any potentially hazardous material must be in compliance with applicable state regulations. If hazardous materials above reporting thresholds (200 cubic feet gas, 55 gallons liquid, 500 pounds solid) are stored onsite, or any hazardous wastes are generated, additional permitting, monitoring, and reporting requirements will apply. Ventura County EHD/CUPA issues hazardous material and hazardous waste permits in Ventura County.

21. Required Landscaping to Screen Facility for Offsite Viewpoints

Purpose: To ensure visual aesthetic to mask the proposed facility from being prominently visible from public viewpoints, and to adhere to the landscaping requirements of the NCZO, the faux Eucalyptus tree must be surrounded by screening trees and be maintained for the term of the CUP. At least five (6) new Chinese Fringe trees (*Chionanthus Retusus*) must be planted to screen the WCF from Pleasant Valley Road.

Requirement: The new Chinese Fringe trees (*Chionanthus Retusus*) must be kept and maintained for the term of this CUP. If the new trees do not survive, or are removed for any reason, the permittee shall submit a landscape plan to bring the facility back into compliance with the landscape requirements of § 8175-5.20.3(r) of the Ventura County Non-Coastal Zoning Ordinance.

Documentation: The permittee shall submit a landscape plan, and a signed agreement between the property owner and the applicant ensuring that the trees will not be removed and will be maintained during the CUP term.

Timing: The landscape plan must be approved by the Planning Director prior to issuance of the Zoning Clearance for Construction/Use Inauguration. In the event

that the trees do not survive, or are removed, the permittee shall submit a new landscaping plan to the Planning Division for review and approval.

Monitoring and Reporting: The Planning Division maintains a stamped copy of the approved plans in the Project file. The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

22. Required Upgrades to Existing Facility

Purpose: To ensure visual aesthetic to mask the proposed facility from being prominently visible from public viewpoints, the faux Eucalyptus tree must be upgraded to bring the facility back into compliance with the stealth requirements of the NCZO.

Requirement: The existing facility must be upgraded with the following:

1. Rebranching of the existing faux Eucalyptus Tree so the antennas are clearly hidden from public viewpoints.
2. Screening of the existing equipment shelter with faux ivy to prevent graffiti and help blend the shelter in with the landscaping.

Documentation: The updated site plans must be approved by the Planning Director prior to issuance of the Zoning Clearance for Use Inauguration/Construction. A post construction site visit will be conducted by the Planning Division to make certain that the upgrades have been completed as approved.

Timing: Prior to issuance of the Zoning Clearance for Use Inauguration/Construction. A post construction site visit will be conducted by the Planning Division to make certain that the upgrades have been completed as approved.

Monitoring and Reporting: The Planning Division maintains a stamped copy of the approved site plans in the Project file. The Planning Division has the authority to conduct periodic site inspections to ensure ongoing compliance with this condition consistent with the requirements of § 8114-3 of the Ventura County Non-Coastal Zoning Ordinance.

Ventura County Environmental Health Division

23. Hazardous Materials/Waste Management

Purpose: To ensure the storage, handling, and disposal of any potentially hazardous material complies with applicable State and local regulations.

Requirement: If hazardous materials above reporting thresholds (200 cubic feet gas, 55 gallons liquid, 500 pounds solid) are stored onsite, or any hazardous wastes are generated, additional permitting, monitoring, and reporting requirements would apply. Used batteries must be properly disposed of or recycled in accordance with state and local regulations. Additional information on the storage and handling requirements for hazardous materials and wastes may be found on the Ventura County Environmental Health Division/Certified Unified Program Agency website: <https://vcrma.org/cupa>

Monitoring: When applicable, the Ventura County Environmental Health Division/Certified Unified Program Agency issues hazardous material and hazardous waste permits and conducts site inspections.

DRAFT



CSL01474 - SCE PLEASANT VALLEY RD.
FA NUMBER: 10150393
5498 EDISON DR.
OXNARD, CA 93033



VIEW OF PROPOSED AT&T IMPROVEMENTS:
Looking Southeast to site from train tracks

EXISTING



County of Ventura
Planning Director Hearing
Case No. PL22-0158
Exhibit 6 - Photo Simulations

PROPOSED

AT&T PANEL ANTENNAS BEHIND NEW
MONO-EUCALYPTUS BRANCHES



Accuracy of photo simulation is based upon information provided by project applicant. The proposed installation is an artistic representation of an antenna monument and it is not intended to be an exact reproduction. The final will have cables, cable ports and various attachments, such as antennas, nuts and bolts. Every effort will be made to disguise these components and they will not be readily apparent to the casual observer or passerby. However, upon close scrutiny, the true nature of the installation will be apparent.



**CSL01474 - SCE PLEASANT VALLEY RD.
FA NUMBER: 10150393
5498 EDISON DR.
OXNARD, CA 93033**



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**CSL01474 - SCE PLEASANT VALLEY RD.
FA NUMBER: 10150393
5498 EDISON DR.
OXNARD, CA 93033**



VIEW OF PROPOSED AT&T IMPROVEMENTS:
Looking Southwest to site from inside property



EXISTING



PROPOSED

AT&T PANEL ANTENNAS BEHIND NEW
MONO-EUCALYPTUS BRANCHES

Accuracy of photo simulation is based upon information provided by project applicant. The proposed installation is an artistic representation of an antenna monument and it is not intended to be an exact reproduction. The final will have cables, cable ports and various attachments, such as antennas, nuts and bolts. Every effort will be made to disguise these components and they will not be readily apparent to the casual observer or passerby. However, upon close scrutiny, the true nature of the installation will be apparent.