



BIM 360://CAM21-P1 Camp Alonim/CAM21-P1 Central RV1721.rvt
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County of Ventura
September 26, 2022
Cultural Heritage Board Meeting
Item 7a
Exhibit 1 – Proposed Plans and Elevations

NOTES:

DRAWING TITLE:
EXHIBIT A

PROJECT:
CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

PROJECT #:
CAM21-P1

DATE:
07/07/22

ABRAMSON ARCHITECTS
5171 west jefferson blvd. | los angeles, ca 90016
Tel 310 838 8998 | abramsonarchitects.com

REV:
SCALE:

EXHIBIT A

CAMP ALONIM

MODIFICATION TO C.U.P. 1776 - 1101 PEPPER TREE LN, BRANDEIS, CA 93064



5171 WEST JEFFERSON BLVD., LOS ANGELES, CA 90016
TEL: 310.838.8998 WWW.ABRAMSONARCHITECTS.COM

NOT FOR CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

PROJECT NO. CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
|-----------|---------|-----------------|
| 02 | 08/2021 | SD PRELIM SET 1 |
| 07 | 27/2022 | CLP RESUBMITTAL |

TITLE SHEET

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VICINITY MAP

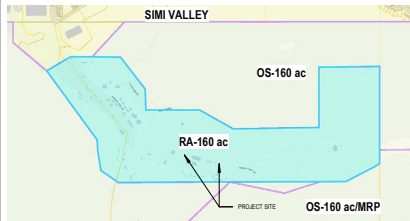
N.T.S.



PROJECT SITE

ZONING MAP

N.T.S.



PROJECT & SITE DATA

SCOPE OF WORK:
REPLACE EXISTING HOUSING TRAILER 1, HOUSING TRAILER 2 & HOUSING TRAILER 3 WITH A NEW WELCOME CENTER WHICH WILL INCLUDE CENTRAL OFFICES, RESOURCE CENTER, STAFF LOUNGE AND RESTROOMS. THE WELCOME CENTER WILL BE THE NEW ARRIVAL AREA FOR THE CAMP AND WILL INCLUDE A PARKING LOT WITH 58 PARKING SPACES AND DROP OFF AREA.
REPLACE EXISTING STORAGE GARAGE AND STAFF HOUSING COTTAGES WITH NEW ACCESSIBLE CAMPER CABINS WITH BATHROOMS, OUTSIDE OF THE FLOOR PLAN.
NEW EXTERIOR OPEN-AIR SHADE PAVILION NORTH OF THE EXISTING ART CENTER BUILDING. NEW STRUCTURE WILL INCLUDE TWO STORAGE ROOMS.
EXISTING CENTRAL LAWN BETWEEN THE EXISTING ART CENTER BUILDING AND DINING HALL TO BE LANDSCAPED AND DESIGNED TO CONNECT EXISTING DANCE PAVILION, AMPHITHEATER, DINING HALL AND ART CENTER. 7 PARKING SPACES TO BE REMOVED WILL BE REPLACED IN NEW PARKING LOT AT THE WELCOME CENTER.

PROJECT SITE:
1101 PEPPER TREE LN, BRANDEIS, CA 93064

ASSESSOR ID#: 65005104

ZONING SUMMARY

ZONE:
RA-160 ac
OS-160 ac/MRP
OS-160 ac

TOTAL AREA TO BE DEMOLISHED

CAMP USE
OVERNIGHT ACCOMMODATIONS
4008 SF

ALL OTHER ROOFED STRUCTURES
0 SF

OTHER USE
3196 SF

TOTAL AREA TO BE DEMOLISHED
7194 SF

MAX ALLOWABLE PERSONS CALCULATIONS

MAX NUMBER OF OVERNIGHT USERS (PER 8107 - 17.2.1)

RA-160 AC AREA = 328 ACRES
LOT SIZE IN ACRES X 2.56 = MAX NUMBER OF PERSONS TO BE ACCOMMODATED
328 X 2.56 = 839.68 = 840 PERSONS

MAX TOTAL POPULATION ALLOWED ON SITE (PER 8107 - 17.3.1)
5.12 X LOT SIZE IN GROSS ACRES = TOTAL POPULATION ALLOWED ON SITE
5.12 X 328 = 1679.36 = 1679 PERSONS

MAX ALLOWABLE AREA CALCULATIONS

OVERNIGHT ACCOMMODATIONS (PER 8107 - 17.4.1)
200 SF PER OVERNIGHT GUEST/STAFF
200 X 840 = 168,000 SF

ALL OTHER ROOFED STRUCTURES OR BUILDINGS (PER 8107 - 17.4.2)
100 SF PER PERSON ALLOWED PER 8107 - 17.3 (DAILY ON-SITE POPULATION)
100 X 1679 = 167,900 SF

PROPOSED TOTAL CAMP USE AREA CALCULATIONS

EXISTING TOTAL CAMP USE STRUCTURES SF = 14297 SF
EXISTING OVERNIGHT ACCOMMODATIONS & RESTROOMS = 4389 SF
EXISTING ALL OTHER STRUCTURES SF = 99138 SF
OVERNIGHT ACCOMMODATIONS SF TO BE DEMOLISHED = 4008 SF
PROPOSED TOTAL OVERNIGHT ACCOMMODATIONS =
(4389 - 4008) + 31004 = 70,385 SF

THEREFORE, PROPOSED SF < MAX ALLOWABLE SF FOR OVERNIGHT ACCOMMODATIONS PER (8107 - 17.4.1)
70,385 SF < 168,000 SF

PROPOSED TOTAL ALL OTHER ROOFED STRUCTURES (NOT OVERNIGHT ACCOMMODATIONS) =
99138 - 8693 = 107,831 SF
107,138 SF < 167,900 SF

THEREFORE, PROPOSED SF < MAX ALLOWABLE SF FOR ALL OTHER ROOFED STRUCTURES PER (8107 - 17.4.2)

EXISTING TOTAL CAMP USE STRUCTURES SF = 14297 SF
EXISTING OVERNIGHT ACCOMMODATIONS & RESTROOMS = 4389 SF
EXISTING ALL OTHER STRUCTURES SF = 99138 SF
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99138 - 8693 = 107,831 SF
107,138 SF < 167,900 SF

THEREFORE, PROPOSED SF < MAX ALLOWABLE SF FOR ALL OTHER ROOFED STRUCTURES PER (8107 - 17.4.2)

PARKING SUMMARY:
TOTAL PARKING REQUIRED (PER DIVISION 8, CHAPTER 1 VENTURA COUNTY NON-COASTAL ZONING ORDINANCE (4-13-2021 EDITION) SEC 8108.4.7 - TABLE OF PARKING SPACE REQUIREMENTS BY LAND USE)
1 SPACE PER 300 SF OF GFA
6725/300 = 22.4 = 23 SPACES REQUIRED

TOTAL PARKING PROVIDED:
58 SPACES (1 VAN ACCESSIBLE, 3 STANDARD ACCESSIBLE, 54 STANDARD SPACES)

BICYCLE PARKING REQUIRED (PER DIVISION 8, CHAPTER 1 VENTURA COUNTY NON-COASTAL ZONING ORDINANCE (4-13-2021 EDITION) SEC 8108.4.7 - TABLE OF PARKING SPACE REQUIREMENTS BY LAND USE)
FOR OFFICE USE: LONG TERM - 1 SPACE PER 30 EMPLOYEES

BICYCLE PARKING PROVIDED:
1 LONG TERM SPACE

ABBREVIATIONS

- A ANCHOR BOLT
- AB ACROUSTICAL CEILING TILE
- AD AREA DRAIN
- ADJ ADJACENT
- AFB ABOVE FINISH FLOOR
- AFG ABOVE FINISH GRADE
- AFS ABOVE FINISH SLAB
- ALUM ALUMINUM
- ALT ALTERNATE
- ANOD ANODIZED
- APPROX APPROXIMATELY
- ARCH ARCHITECTURAL
- B BOTTOM OF
- BD BOARD
- BIT BITUMINOUS
- BLDG BUILDING
- BURG BLOCKING
- BM BEAM
- C CABINETS
- CB CATCH BASIN
- CEM CEMENT, CEMENTITIOUS
- CJ CONTROL JOINT
- CL CENTERLINE
- CLR CEILING
- CLR COLUMN
- CMU CONCRETE MASONRY UNIT
- CONC CONCRETE
- CONT CONTINUOUS
- CONTR CONTRACTOR
- CONTR CONTRACTOR
- CSNK CASEWORK
- CT CERAMIC TILE
- D DBL DOUBLE
- DEMO DEMOLISH
- DEPT DEPARTMENT
- DIA DIAMETER
- DIM DIMENSION
- DIST DISTANCE
- DN DOWN
- DR DOOR
- DS DOWNSPOUT
- DTL DETAIL DRAWING
- DWG DRAWING
- E EXISTING
- EA EACH
- EL ELEVATION
- ELEC ELECTRICAL
- ELEV ELEVATOR
- ENCL ENCLOSURE
- EOS EDGE OF SLAB
- EQU EQUAL
- EXT EXTERIOR
- EXP EXPANSION
- F FIRE ALARM
- FA FAN COIL UNIT
- FD FLOOR DRAIN
- FDC FIRE DEPARTMENT CONNECTION
- FON FOUNDATION
- FEC FIRE EXTINGUISHER
- FHC FIRE HOSE CABINET
- FIN FINISH
- FIN FLOOR
- FOC FACE OF CONCRETE
- FOF FACE OF FINISH
- FOM FACE OF MASONRY
- FOS FACE OF STUD
- FRMS FRAMING
- FT FOOT, FEET
- FTG FOOTING
- FURN FURNITURE
- G GAUGE
- GAL GALLON
- GALV GALVANIZED
- GC GENERAL CONTRACTOR
- GL GLASS
- GLZ GLAZING
- GYP GYPSUM
- GYP BD GYPSUM BOARD
- H HOSE BIBB
- HC HOLLOW CORE
- HER HEALER
- HOW HARDWARE
- HORIZ HORIZONTAL
- HM HOLLOW METAL
- HPT HIGH POINT
- HR HOUR
- HT HEIGHT
- HVAC HEATING-VENTILATION -AIR CONDITIONING
- I INCH
- INCL INCLUDING
- INFO INFORMATION
- INSUL INSULATION
- INT INTERIOR
- L LAMINATE, LAMINATION
- LAV LAVATORY
- LB POUND
- LED LIGHT EMITTING DIODE
- LF LINEAR FOOT
- LPT LOW POINT
- LT LIGHT
- LTG LIGHTING
- M MATERIAL
- MAX MAXIMUM
- MECH MECHANICAL
- MEMB MEMBRANE
- MFR MANUFACTURER
- MN MINIMUM
- MISC MISCELLANEOUS
- MTD MOUNTED
- MTR METAL
- O ON CENTER
- OC OVERHEAD
- OPV OPPOSITE
- OVHD OVERHEAD
- P PLATE
- PLAM PLASTIC LAMINATE
- PLY PLYWOOD
- PNL PANEL
- PT POINT
- PRFAB PREFABRICATED
- PTN PARTITION
- PWR POWER
- R RISER
- RCP REFLECTED CEILING PLAN
- RD ROOF DRAIN
- REF REFERENCE
- REFR REFRIGERATOR
- REINF REINFORCING
- REQD REQUIRED
- ROD ROOM
- RM ROOM
- ROW RIGHT OF WAY
- S SOLID CORE
- SCHED SCHEDULE
- SD STORM DRAIN
- SHT SHEET
- SMI SIMILAR
- SPEC SPECIFICATION
- SST STAINLESS STEEL
- STD STANDARD
- STL STEEL
- STRUCT STRUCTURAL
- SUSP SUSPENDED
- T TREAD
- TOP OF
- THK THICK
- TYP TYPICAL
- U UNDER COUNTER
- UNON UNLESS OTHERWISE NOTED
- V VERTICAL
- VEST VESTIBULE
- W WITH
- W/O WITHOUT
- W/I WITHIN
- WC WATER CLOSET
- WP WATER PROOF
- WR WATER RESISTANT
- WT WEIGHT
- WD WOOD

GRAPHIC SYMBOLS

| SECTION REFERENCE | INTERIOR ELEVATION REFERENCE | EXTERIOR ELEVATION REFERENCE |
|---------------------------------------|--|---------------------------------|
| | | |
| DETAIL REFERENCE | PARTITION TYPE MARK | DOOR TYPE MARK |
| WINDOW / LOUVER TYPE MARK | SHEET KEYNOTE MARK | STOREFRONT TYPE MARK |
| NEW GRID LINES AND BUBBLES | EXISTING GRID LINES AND BUBBLES | SPOT ELEVATION TAG |
| FINISH FLOOR LEVEL TAG | FINISH WALL TAG | FIXTURE TAG |

PROJECT TEAM

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TEL (913) 269-4192

NOT FOR
CONSTRUCTION

| NO. | BUILDINGS TO BE DEMOLISHED | AREA | PART OF CAMP USE |
|-----|----------------------------|---------|------------------|
| 9 | STAFF HOUSING | 858 SF | NO |
| 10 | STAFF HOUSING | 1632 SF | NO |
| 11 | STORAGE GARAGE | 696 SF | NO |
| 55 | HOUSING TRAILER 1 | 950 SF | YES |
| 56 | HOUSING TRAILER 2 | 2242 SF | YES |
| 57 | HOUSING TRAILER 3 | 816 SF | YES |



CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF ABRAMSON ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ABRAMSON ARCHITECTS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.




PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
|-----------|---------|-----------------|
| 07 | 27.2022 | CLP RESUBMITTAL |
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DEMOLITION SITE
PLAN

D100

LEGEND
 NOT IN CONTRACT / CONSTRUCTION.
 EXISTING WALL TO BE DEMOLISHED.
 BUILDING OR SITE COMPONENT TO BE DEMOLISHED.

DEMO SITE PLAN
SCALE: 1" = 60'-0"

1

NOT FOR CONSTRUCTION

CAMP ALONIM
 1101 PEPPER TREE LN, BRANDEIS, CA 93064

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ISSUE RECORD

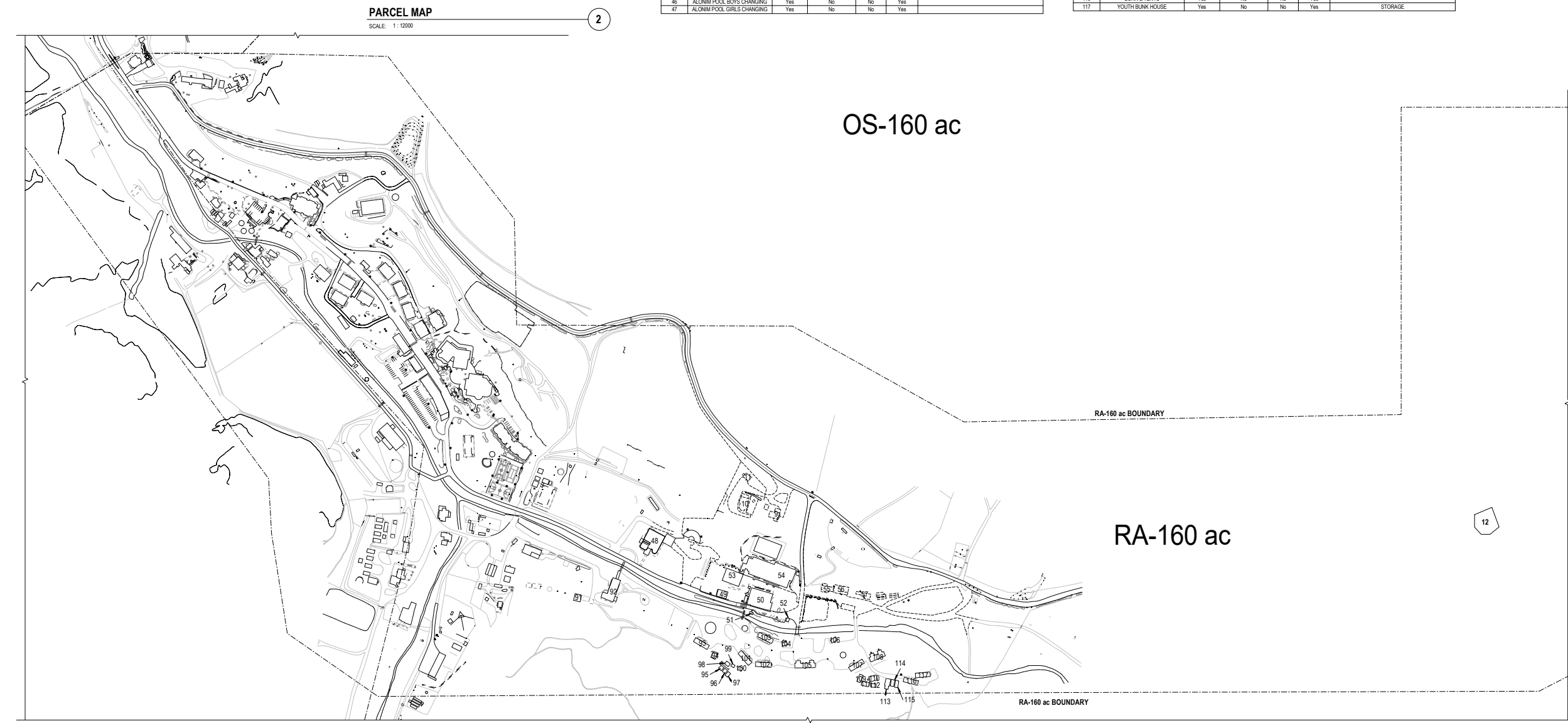
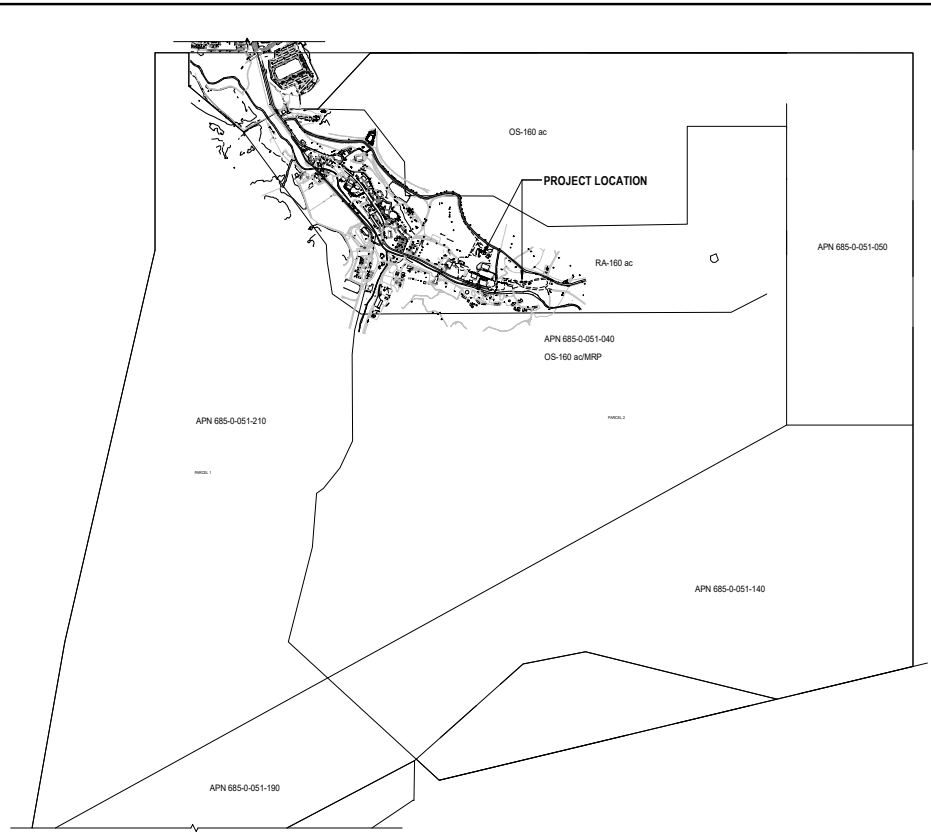
| ISSUE NO. | DATE | DESCRIPTION |
|-----------|------------|------------------|
| | 07/27/2022 | CLIP RESUBMITTAL |
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EXTENDED SITE MAP

A001

EXISTING BUILDINGS

| NUMBER | DESCRIPTION | EXISTING/NO CHANGE | EXISTING TO BE REPURPOSED | DEMOLISH | PART OF CAMP USE | COMMENTS |
|--------|---------------------------------|--------------------|---------------------------|----------|------------------|---|
| 2 | STAFF HOUSING | Yes | No | No | No | |
| 3 | STAFF HOUSING | Yes | No | No | No | |
| 4 | STAFF HOUSING | Yes | No | No | No | |
| 5 | STAFF HOUSING | Yes | No | No | No | |
| 6 | STAFF HOUSING | Yes | No | No | No | |
| 7 | STAFF HOUSING | Yes | No | No | No | |
| 8 | STAFF HOUSING | Yes | No | No | No | |
| 9 | STAFF HOUSING | No | No | Yes | No | TO BE DEMOLISHED FOR CAMPER VILLAGE |
| 10 | STAFF HOUSING | No | No | Yes | No | TO BE DEMOLISHED FOR CAMPER VILLAGE |
| 11 | STORAGE GARAGE | No | No | Yes | No | TO BE DEMOLISHED FOR CAMPER VILLAGE |
| 12 | COTTAGE 12 | Yes | No | No | No | |
| 14 | STAFF HOUSING | Yes | No | No | No | |
| 15 | COTTAGE 13 | Yes | No | No | No | |
| 16 | MULTIPURPOSE SPACE | Yes | No | No | No | |
| 25 | SHIP BUILDING | Yes | No | No | No | |
| 26 | LANDSCAPE BUILDING | Yes | No | No | No | |
| 27 | COTTAGE 1 | Yes | No | No | No | |
| 28 | COTTAGE 2 | Yes | No | No | No | |
| 32 | STORAGE AND LOUNGE | Yes | No | No | No | |
| 33 | COTTAGE 5 | Yes | No | No | No | |
| 34 | COTTAGE 6 | Yes | No | No | No | |
| 35 | COTTAGE 7 | Yes | No | No | No | |
| 36 | COTTAGE 8 | Yes | No | No | No | |
| 38 | DANCE STUDIO AND PROGRAMMING | Yes | No | No | No | |
| 39 | CHILD CARE CENTER/REGISTRATION | Yes | No | No | No | |
| 41 | ADULT ACTIVITIES COMPLEX | Yes | No | No | No | |
| 42 | ADULT DINING ROOM | Yes | No | No | No | |
| 43 | POOL EQUIPMENT | Yes | No | No | No | |
| 58 | STAFF HOUSING | Yes | No | No | No | |
| 59 | STAFF HOUSING | Yes | No | No | No | |
| 60 | STAFF HOUSING | Yes | No | No | No | |
| 61 | STAFF HOUSING | Yes | No | No | No | |
| 62 | STAFF HOUSING | Yes | No | No | No | |
| 63 | STAFF HOUSING | Yes | No | No | No | |
| 64 | SILVER BARN WORKSHOP | Yes | No | No | No | |
| 65 | STAFF HOUSING | Yes | No | No | No | |
| 66 | STAFF HOUSING | Yes | No | No | No | |
| 83 | STAFF HOUSING | Yes | No | No | No | |
| 90 | LIBRARY REPOSITORY STORAGE | Yes | No | No | No | |
| 1 | GUARD STATION | Yes | No | No | Yes | |
| 12 | HOUSE OF THE BOOK | Yes | No | No | Yes | |
| 17 | COTTAGE 14 | Yes | No | No | Yes | |
| 18 | YURT 1 | Yes | No | No | Yes | |
| 19 | YURT 2 | Yes | No | No | Yes | |
| 20 | YURT 3 | Yes | No | No | Yes | |
| 21 | YURT TRAILER BATHROOM | Yes | No | No | Yes | |
| 22 | COTTAGE 15 | Yes | No | No | Yes | |
| 23 | ADMINISTRATION BUILDING | Yes | No | No | Yes | |
| 24 | MAIN LAUNDRY BUILDING | Yes | No | No | Yes | |
| 29 | COTTAGE 3 | Yes | No | No | Yes | |
| 30 | COTTAGE 4 | Yes | No | No | Yes | |
| 31 | BUNKHOUSE | Yes | No | No | Yes | |
| 37 | COTTAGE 9 | Yes | No | No | Yes | |
| 40 | BO REC HALL AND DANCE PAVILION | Yes | No | No | Yes | |
| 44 | COTTAGE 10/11 | Yes | No | No | Yes | |
| 45 | ALONIM POOL BATHROOM | Yes | No | No | Yes | |
| 46 | ALONIM POOL BOYS CHANGING | Yes | No | No | Yes | |
| 47 | ALONIM POOL GIRLS CHANGING | Yes | No | No | Yes | |
| 48 | ACTIVITIES BUILDING | Yes | No | No | Yes | |
| 49 | ALONIM STAFF CENTER | Yes | No | No | Yes | |
| 50 | ULAM BUILDING AND HEALTH CENTER | Yes | No | No | Yes | |
| 51 | BIKE STORAGE SHED | Yes | No | No | Yes | |
| 52 | ALONIM GARDEN | Yes | No | No | Yes | |
| 53 | ALONIM DANCE PAVILION | Yes | No | No | Yes | |
| 54 | ALONIM DINING HALL | Yes | No | No | Yes | |
| 55 | HOUSING TRAILER 1 | No | No | Yes | Yes | TO BE DEMOLISHED FOR NEW WELCOME CENTER |
| 56 | HOUSING TRAILER 2 | No | No | Yes | Yes | TO BE DEMOLISHED FOR NEW WELCOME CENTER |
| 57 | HOUSING TRAILER 3 | No | No | Yes | Yes | TO BE DEMOLISHED FOR NEW WELCOME CENTER |
| 67 | OT BATHROOM A | Yes | No | No | Yes | |
| 68 | OT BATHROOM B | Yes | No | No | Yes | |
| 69 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 70 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 71 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 72 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 73 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 74 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 75 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 76 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 77 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 78 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 79 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 80 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 81 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 82 | OT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 84 | EQUESTRIAN TRAILER | Yes | No | No | Yes | |
| 85 | DAY CAMP PROGRAMMING | Yes | No | No | Yes | |
| 86 | BROWN BARN | Yes | No | No | Yes | |
| 87 | REFRESHMENT | Yes | No | No | Yes | |
| 88 | BATHROOMS | Yes | No | No | Yes | |
| 89 | ARCHERY SHADE | Yes | No | No | Yes | |
| 91 | SHADED STRUCTURE | Yes | No | No | Yes | |
| 92 | RECREATION HALL | Yes | No | No | Yes | |
| 93 | YOUTH BUNK HOUSE | No | Yes | No | Yes | STORAGE |
| 94 | BATHROOM BUILDING | Yes | No | No | Yes | |
| 95 | YOUTH TENT STRUCTURE 1 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 96 | YOUTH TENT STRUCTURE 2 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 97 | YOUTH TENT STRUCTURE 3 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 98 | YOUTH TENT STRUCTURE 4 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 99 | YOUTH TENT STRUCTURE 5 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 100 | YOUTH TENT STRUCTURE 6 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 101 | YOUTH BUNK HOUSE | No | Yes | No | Yes | PROGRAMMING STEM |
| 102 | YOUTH BUNK HOUSE | No | Yes | No | Yes | PROGRAMMING ARTS |
| 103 | YOUTH BUNK HOUSE | No | Yes | No | Yes | PROGRAMMING STEM |
| 104 | YOUTH COTTAGE | Yes | No | No | Yes | STAFF HOUSING |
| 105 | YOUTH BUNK HOUSE | No | Yes | No | Yes | PROGRAMMING ARTS |
| 106 | HEAD COTTAGES | Yes | No | No | Yes | STAFF HOUSING |
| 107 | YOUTH BUNK HOUSE | Yes | No | No | Yes | STAFF LOUNGE SPACES |
| 108 | YOUTH BUNK HOUSE | Yes | No | No | Yes | STAFF LOUNGE SPACES |
| 109 | YOUTH TENT STRUCTURE 1 | Yes | No | No | Yes | STAFF/CAMPER HOUSING |
| 110 | YOUTH BUNK HOUSE | Yes | No | No | Yes | BATHROOM FOR YACHAD GROUP (10TH GRADE) |
| 111 | YOUTH TENT STRUCTURE 2 | Yes | No | No | Yes | STAFF/CAMPER HOUSING |
| 112 | YOUTH TENT STRUCTURE 3 | Yes | No | No | Yes | STAFF/CAMPER HOUSING |
| 113 | YOUTH TENT STRUCTURE 4 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 114 | YOUTH TENT STRUCTURE 5 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 115 | YOUTH TENT STRUCTURE 6 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 116 | BUNK & TENTS | Yes | No | No | Yes | |
| 117 | YOUTH BUNK HOUSE | Yes | No | No | Yes | STORAGE |



EXTENDED SITE MAP
SCALE: 1" = 200'-0"



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CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF ABRAMSON ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ABRAMSON ARCHITECTS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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| | 07.27.2022 | CLIP RESUBMITTAL |
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EXISTING
STRUCTURES 1 OF 4

A002

| EXISTING BUILDINGS | | | | | | |
|--------------------|---------------------------------|---------------------|----------------------------|----------|------------------|-------------------------------------|
| NUMBER | DESCRIPTION | EXISTING(NO CHANGE) | EXISTING(TO BE REPURPOSED) | DEMOLISH | PART OF CAMP USE | COMMENTS |
| 2 | STAFF HOUSING | Yes | No | No | No | |
| 3 | STAFF HOUSING | Yes | No | No | No | |
| 4 | STAFF HOUSING | Yes | No | No | No | |
| 5 | STAFF HOUSING | Yes | No | No | No | |
| 6 | STAFF HOUSING | Yes | No | No | No | |
| 7 | STAFF HOUSING | Yes | No | No | No | |
| 8 | STAFF HOUSING | Yes | No | No | No | |
| 9 | STAFF HOUSING | No | No | Yes | No | TO BE DEMOLISHED FOR CAMPER VILLAGE |
| 10 | STAFF HOUSING | No | No | Yes | No | TO BE DEMOLISHED FOR CAMPER VILLAGE |
| 11 | STORAGE GARAGE | No | No | Yes | No | TO BE DEMOLISHED FOR CAMPER VILLAGE |
| 13 | COTTAGE 12 | Yes | No | No | No | |
| 14 | STAFF HOUSING | Yes | No | No | No | |
| 15 | COTTAGE 13 | Yes | No | No | No | |
| 16 | MULTIPURPOSE SPACE | Yes | No | No | No | |
| 25 | SHOP BUILDING | Yes | No | No | No | |
| 26 | LANDSCAPE BUILDING | Yes | No | No | No | |
| 27 | COTTAGE 1 | Yes | No | No | No | |
| 28 | COTTAGE 2 | Yes | No | No | No | |
| 32 | STORAGE AND LOUNGE | Yes | No | No | No | |
| 33 | COTTAGE 5 | Yes | No | No | No | |
| 34 | COTTAGE 6 | Yes | No | No | No | |
| 35 | COTTAGE 7 | Yes | No | No | No | |
| 36 | COTTAGE 8 | Yes | No | No | No | |
| 38 | DANCE STUDIO AND PROGRAMMING | Yes | No | No | No | |
| 39 | CHILD CARE CENTER/REGISTRATION | Yes | No | No | No | |
| 41 | ADULT ACTIVITIES COMPLEX | Yes | No | No | No | |
| 42 | ADULT DINING ROOM | Yes | No | No | No | |
| 43 | POOL EQUIPMENT | Yes | No | No | No | |
| 58 | STAFF HOUSING | Yes | No | No | No | |
| 59 | STAFF HOUSING | Yes | No | No | No | |
| 60 | STAFF HOUSING | Yes | No | No | No | |
| 61 | STAFF HOUSING | Yes | No | No | No | |
| 62 | STAFF HOUSING | Yes | No | No | No | |
| 63 | STAFF HOUSING | Yes | No | No | No | |
| 64 | SILVER BARN WORKSHOP | Yes | No | No | No | |
| 65 | STAFF HOUSING | Yes | No | No | No | |
| 66 | STAFF HOUSING | Yes | No | No | No | |
| 83 | STAFF HOUSING | Yes | No | No | No | |
| 90 | LIBRARY REPOSITORY STORAGE | Yes | No | No | No | |
| 1 | GUARD STATION | Yes | No | No | Yes | |
| 12 | HOUSE OF THE BOOK | Yes | No | No | Yes | |
| 17 | COTTAGE 14 | Yes | No | No | Yes | |
| 18 | YURT 1 | Yes | No | No | Yes | |
| 19 | YURT 2 | Yes | No | No | Yes | |
| 20 | YURT 3 | Yes | No | No | Yes | |
| 21 | YURT TRAILER BATHROOM | Yes | No | No | Yes | |
| 22 | COTTAGE 15 | Yes | No | No | Yes | |
| 23 | ADMINISTRATION BUILDING | Yes | No | No | Yes | |
| 24 | MAIN LAUNDRY BUILDING | Yes | No | No | Yes | |
| 29 | COTTAGE 3 | Yes | No | No | Yes | |
| 30 | COTTAGE 4 | Yes | No | No | Yes | |
| 31 | BUNKHOUSE | Yes | No | No | Yes | |
| 37 | COTTAGE 9 | Yes | No | No | Yes | |
| 40 | BOY REC HALL AND DANCE PAVILION | Yes | No | No | Yes | |
| 44 | COTTAGE 10/11 | Yes | No | No | Yes | |
| 45 | ALONIM POOL BATHROOM | Yes | No | No | Yes | |
| 46 | ALONIM POOL BOYS CHANGING | Yes | No | No | Yes | |
| 47 | ALONIM POOL GIRLS CHANGING | Yes | No | No | Yes | |

| EXISTING BUILDINGS | | | | | | |
|--------------------|---------------------------------|---------------------|----------------------------|----------|------------------|---|
| NUMBER | DESCRIPTION | EXISTING(NO CHANGE) | EXISTING(TO BE REPURPOSED) | DEMOLISH | PART OF CAMP USE | COMMENTS |
| 48 | ACTIVITIES BUILDING | Yes | No | No | Yes | |
| 49 | ALONIM STAFF CENTER | Yes | No | No | Yes | |
| 50 | ULAM BUILDING AND HEALTH CENTER | Yes | No | No | Yes | |
| 51 | BIKE STORAGE SHED | Yes | No | No | Yes | |
| 52 | ALONIM CANTINE | Yes | No | No | Yes | |
| 53 | ALONIM DANCE PAVILION | Yes | No | No | Yes | |
| 54 | ALONIM DINING HALL | Yes | No | No | Yes | |
| 55 | HOUSING TRAILER 1 | Yes | No | Yes | Yes | TO BE DEMOLISHED FOR NEW WELCOME CENTER |
| 56 | HOUSING TRAILER 2 | No | No | Yes | Yes | TO BE DEMOLISHED FOR NEW WELCOME CENTER |
| 57 | HOUSING TRAILER 3 | No | No | Yes | Yes | TO BE DEMOLISHED FOR NEW WELCOME CENTER |
| 67 | CIT BATHROOM A | Yes | No | No | Yes | |
| 68 | CIT BATHROOM B | Yes | No | No | Yes | |
| 69 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 70 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 71 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 72 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 73 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 74 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 75 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 76 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 77 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 78 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 79 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 80 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 81 | SHARED STRUCTURE | Yes | No | No | Yes | |
| 82 | CIT COUNSELOR IN TRAINING | Yes | No | No | Yes | |
| 84 | EQUESTRIAN TRAILER | Yes | No | No | Yes | |
| 85 | DAY CAMP PROGRAMMING | Yes | No | No | Yes | |
| 86 | BROWN BARN | Yes | No | No | Yes | |
| 87 | SEPTILE / FISH | Yes | No | No | Yes | |
| 88 | BATHROOMS | Yes | No | No | Yes | |
| 89 | ARCHERY SHADE | Yes | No | No | Yes | |
| 91 | SHARED STRUCTURE | Yes | No | No | Yes | |
| 92 | RECREATION HALL | Yes | No | No | Yes | |
| 93 | YOUTH BUNK HOUSE | No | Yes | No | Yes | STORAGE |
| 94 | BATHROOM BUILDING | Yes | No | No | Yes | |
| 95 | YOUTH TENT STRUCTURE 1 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 96 | YOUTH TENT STRUCTURE 2 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 97 | YOUTH TENT STRUCTURE 3 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 98 | YOUTH TENT STRUCTURE 4 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 99 | YOUTH TENT STRUCTURE 5 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 100 | YOUTH TENT STRUCTURE 6 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 101 | YOUTH BUNK HOUSE | No | Yes | No | Yes | PROGRAMMING STEM |
| 102 | YOUTH BUNK HOUSE | No | Yes | No | Yes | PROGRAMMING ARTS |
| 103 | YOUTH BUNK HOUSE | No | Yes | No | Yes | PROGRAMMING STEM |
| 104 | YOUTH COTTAGE | Yes | No | No | Yes | STAFF HOUSING |
| 105 | YOUTH BUNK HOUSE | No | Yes | No | Yes | PROGRAMMING ARTS |
| 106 | HEAD COTTAGES | Yes | No | No | Yes | STAFF HOUSING |
| 107 | YOUTH BUNK HOUSE | Yes | No | No | Yes | STAFF LOUNGE SPACES |
| 108 | YOUTH BUNK HOUSE | Yes | No | No | Yes | STAFF LOUNGE SPACES |
| 109 | YOUTH TENT STRUCTURE 1 | Yes | No | No | Yes | STAFF/CAMPER HOUSING |
| 110 | YOUTH BUNK HOUSE | Yes | No | No | Yes | BATHROOM FOR YACHAD GROUP (10TH GRADE) |
| 111 | YOUTH TENT STRUCTURE 2 | Yes | No | No | Yes | STAFF/CAMPER HOUSING |
| 112 | YOUTH TENT STRUCTURE 3 | Yes | No | No | Yes | STAFF/CAMPER HOUSING |
| 113 | YOUTH TENT STRUCTURE 4 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 114 | YOUTH TENT STRUCTURE 5 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 115 | YOUTH TENT STRUCTURE 6 | Yes | No | No | Yes | CAMPER BUNK FOR YACHAD (10TH GRADE) |
| 116 | BUNK & TENTS | Yes | No | No | Yes | |
| 117 | YOUTH BUNK HOUSE | Yes | No | No | Yes | STORAGE |



ADDITIONAL SITE PLAN 01
SCALE: 1" = 40'-0"

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CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

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PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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EXISTING
STRUCTURES 2 OF 4

A003



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PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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EXISTING
STRUCTURES 3 OF 4

A004

ADDITIONAL SITE PLAN 03
SCALE: 1" = 40'-0"

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PROJECT NO. CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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| 07-27-2022 | 07-27-2022 | CLIP RESUBMITTAL |
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EXISTING STRUCTURES 4 OF 4

A005

ADDITIONAL SITE PLAN 04

SCALE: 1" = 40'-0"

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CONSTRUCTION**

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PROJECT NO: CAM21-P1

ISSUE RECORD




| ISSUE NO. | DATE | DESCRIPTION |
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| 02 | 08/2021 | SD PRICING SET 1 |
| 07 | 27/2022 | CLP RESUBMITTAL |
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SITE PLAN

A100



LEGEND

-  NOT IN CONTRACT / CONSTRUCTION.
-  PROPERTY LINE
-  NEW TREE: SEE LANDSCAPE DWGS.

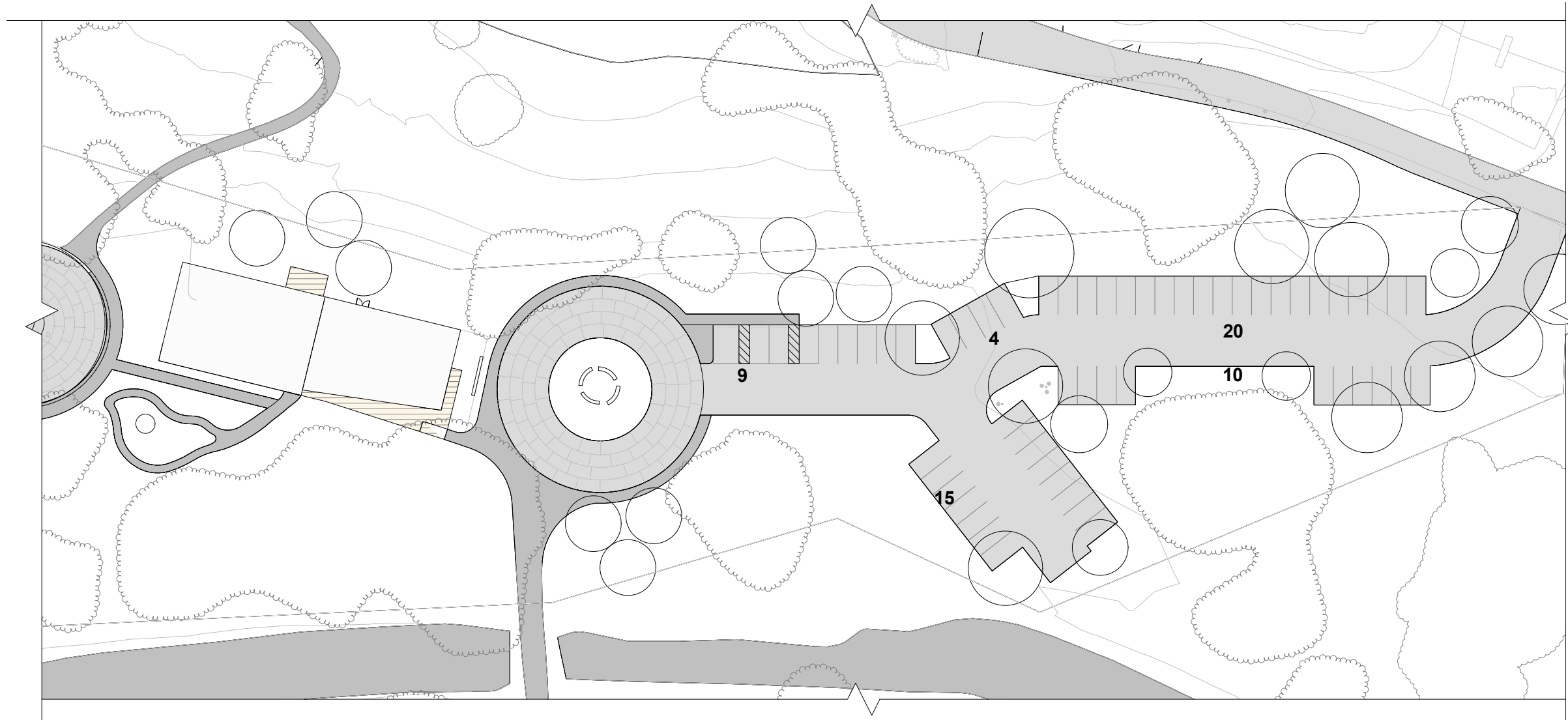
A100 SITE PLAN
SCALE: 1" = 80'-0"

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ENLARGED SITE PLAN - WCO & PARKING
LOT

SCALE: 3/8" = 1'-0"



KEYNOTES

PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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ENLARGED SITE PLAN -
WCO & PARKING LOT

A111



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CAMP ALONIM
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ENLARGED SITE PLAN - HILLSIDE CABINS
SCALE: 1/32" = 1'-0"
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KEYNOTES

| ISSUE NO. | DATE | DESCRIPTION |
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PROJECT NO: CAM21-P1

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**ENLARGED SITE PLAN -
HILLSIDE CABINS**

A112



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CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

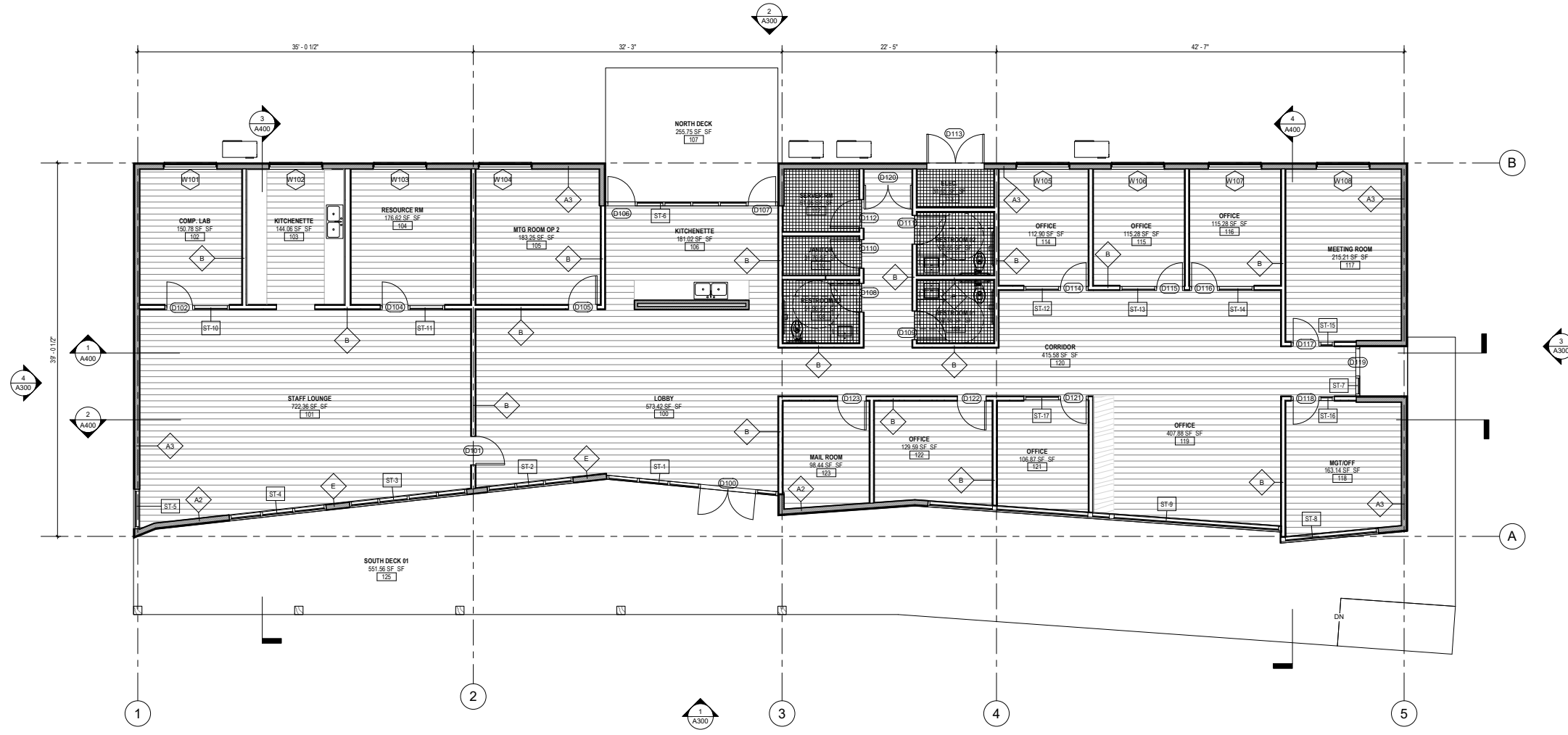
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PROJECT NO: CAM21-P1

| ISSUE NO. | DATE | DESCRIPTION |
|-----------|------------|------------------|
| 1 | 03/08/2022 | SO PRICING SET 1 |
| 2 | 07/28/2022 | CLP RESUBMITTAL |
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FIRST FLOOR PLAN

A200



LEVEL 1 CONSTRUCTION PLAN

SCALE: 3/16" = 1'-0"

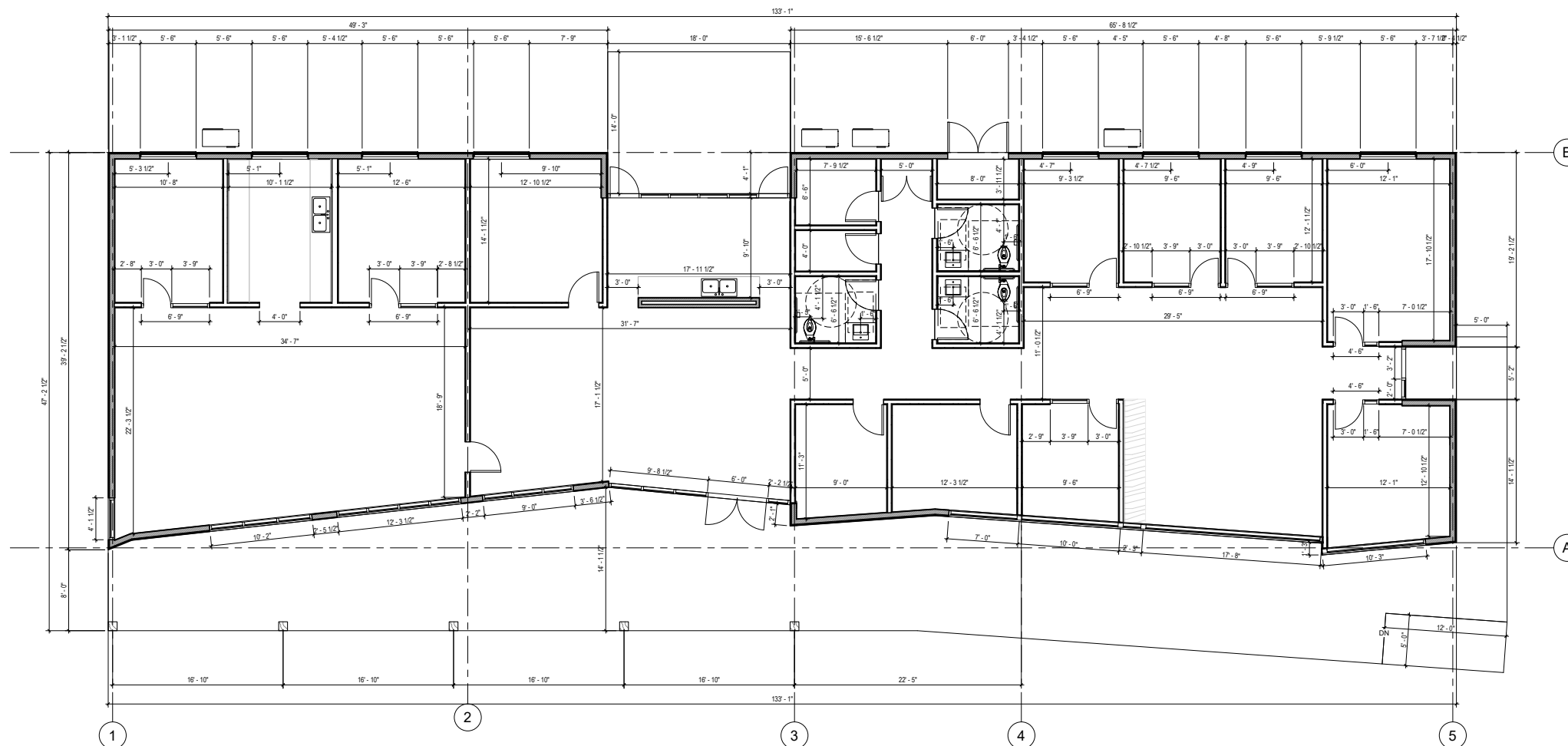
- LEGEND**
- NOT IN CONTRACT / CONSTRUCTION.
 - 1 HOUR RATED WALL. SEE WALL TYPES ON A900.
 - 2 HOUR RATED WALL. SEE WALL TYPES ON A900.
 - LANDSCAPED AREAS PER LANDSCAPE ARCHITECT'S DRAWINGS.
 - STEPPED SLAB / DEPRESSION.
 - EXIT SIGN.
 - AREA DRAIN. REFER TO CIVIL & PLUMBING.
 - DIMENSION SYMBOL. CONTRACTOR TO REFER TO DIMENSION PLANS FOR ALL CRITICAL MEASUREMENTS.
 - WALL TAG. SEE WALL TYPES ON SHEET A500.
 - DOOR TAG PER DOOR SCHEDULE. SEE A600.
 - STOREFRONT TAG PER STOREFRONT SCHEDULE. SEE A600.
 - WINDOW TAG PER WINDOW SCHEDULE. SEE A600.

KEYNOTES

NO. KEYNOTE

NOT FOR
CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064



LEVEL 1 DIMENSION PLAN
SCALE: 3/16" = 1'-0"

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PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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FIRST FLOOR
DIMENSION PLAN

A201

NOT FOR
CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF ABRAMSON ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ABRAMSON ARCHITECTS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

PROJECT NO: CAM21-P1

REVISIONS

| REV. NO. | DATE | DESCRIPTION |
|----------|------------|------------------|
| 2 | 07.28.2022 | CLIP RESUBMITTAL |
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FIRST FLOOR SLAB PLAN

A202



LEVEL 1 SLAB PLAN

SCALE: 3/16" = 1'-0"

1

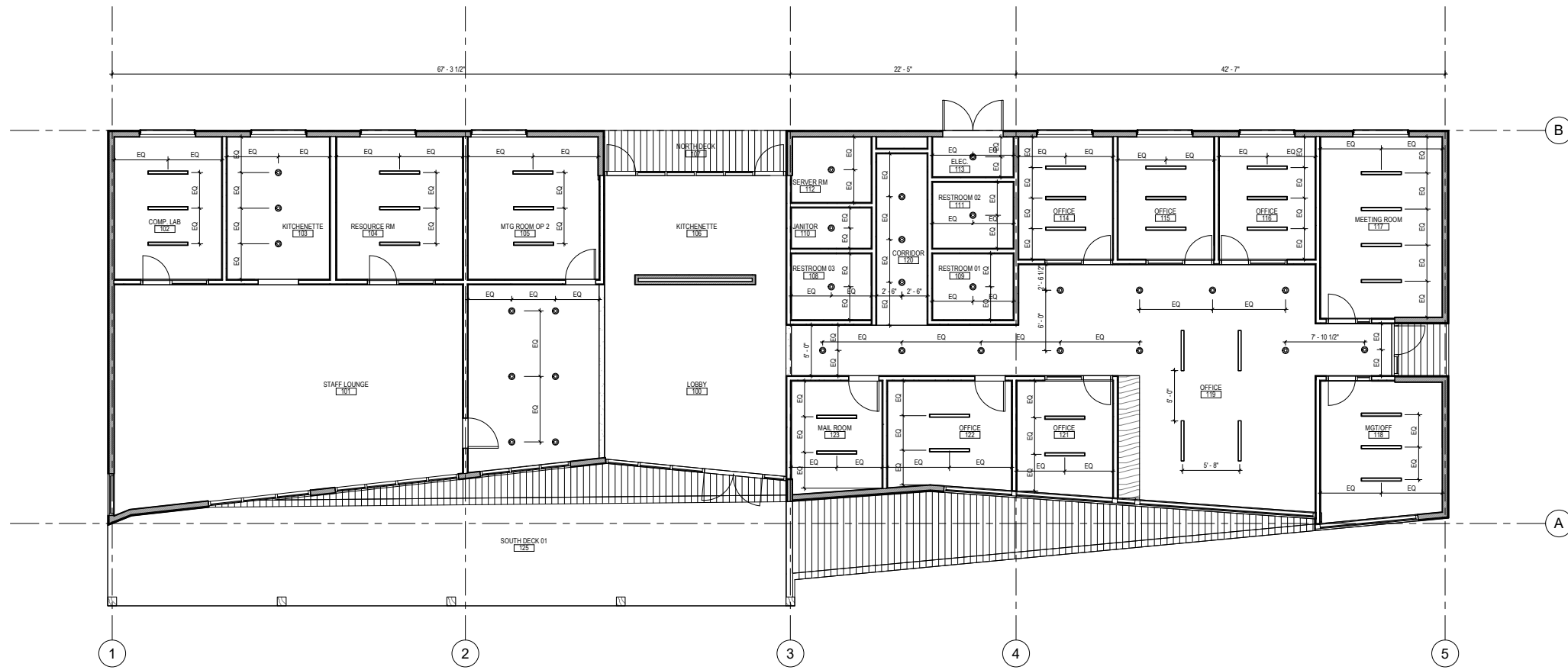
LEGEND

- CONCRETE SLAB / COMPOSITE DECK PER STRUCTURAL.
- 1 HOUR RATED WALL. SEE WALL TYPES ON A900.
- 2 HOUR RATED WALL. SEE WALL TYPES ON A900.
- DIAGRAMMATIC LOCATION OF SHEAR WALL. CONTRACTOR MUST REFERENCE AND INSTALL SHEAR AND OTHER STRUCTURAL WALLS AND COMPONENTS PER THE STRUCTURAL DRAWINGS ONLY.
- DEPRESSION IN SLAB/FLOOR PER STRUCTURAL.
- SPOT ELEVATION
- EMERGENCY DRAIN
- FLOOR DRAIN
- ROOF DRAIN

KEYNOTES

NOT FOR
CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064



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LEVEL 1 REFLECTED CEILING PLAN

SCALE: 3/16" = 1'-0"

LEGEND

- LIGHTING FIXTURE, RECESSED LAMP- ROUND- LED 4"
- X-X" DIMENSION SYMBOL -CONTRACTOR TO REFER TO DIMENSION PLANS FOR ALL CRITICAL MEASUREMENTS.

KEYNOTES

PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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| 2 | 07-28-2022 | CLIP RESUBMITTAL |
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REFLECTED
CEILING PLAN

A203

NOT FOR
CONSTRUCTION

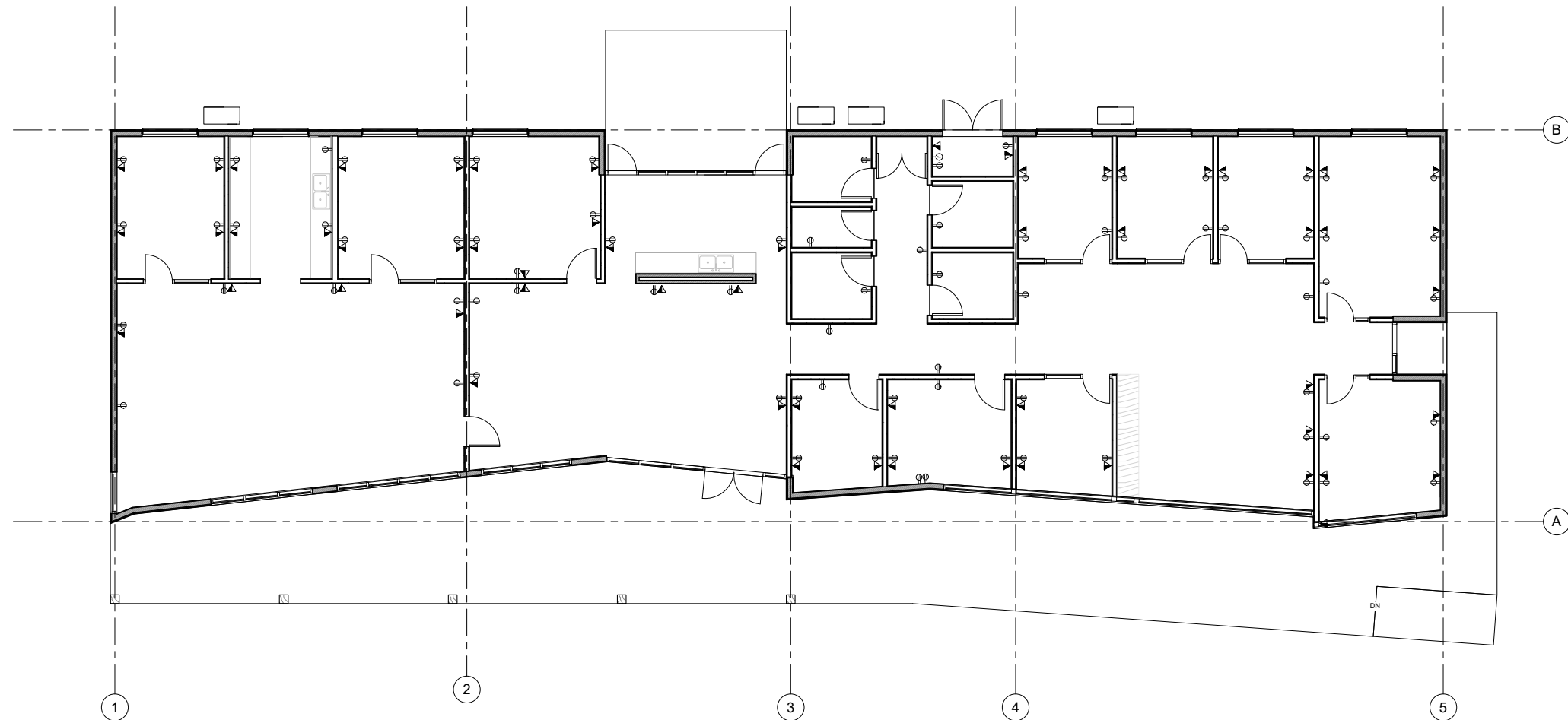
CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF ABRAMSON ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ABRAMSON ARCHITECTS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

PROJECT NO: CAM21-P1

| ISSUE RECORD | | |
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FIRST FLOOR
POWER PLAN
A204






LEVEL 1 POWER PLAN
SCALE: 3/16" = 1'-0"



1

LEGEND

-  OUTLET SINGLE 18" PER ELECTRICAL.
-  TELEDATA PER ELECTRICAL.
-  DIMENSION SYMBOL CONTRACTOR TO REFER TO DIMENSION PLANS FOR ALL CRITICAL MEASUREMENTS.

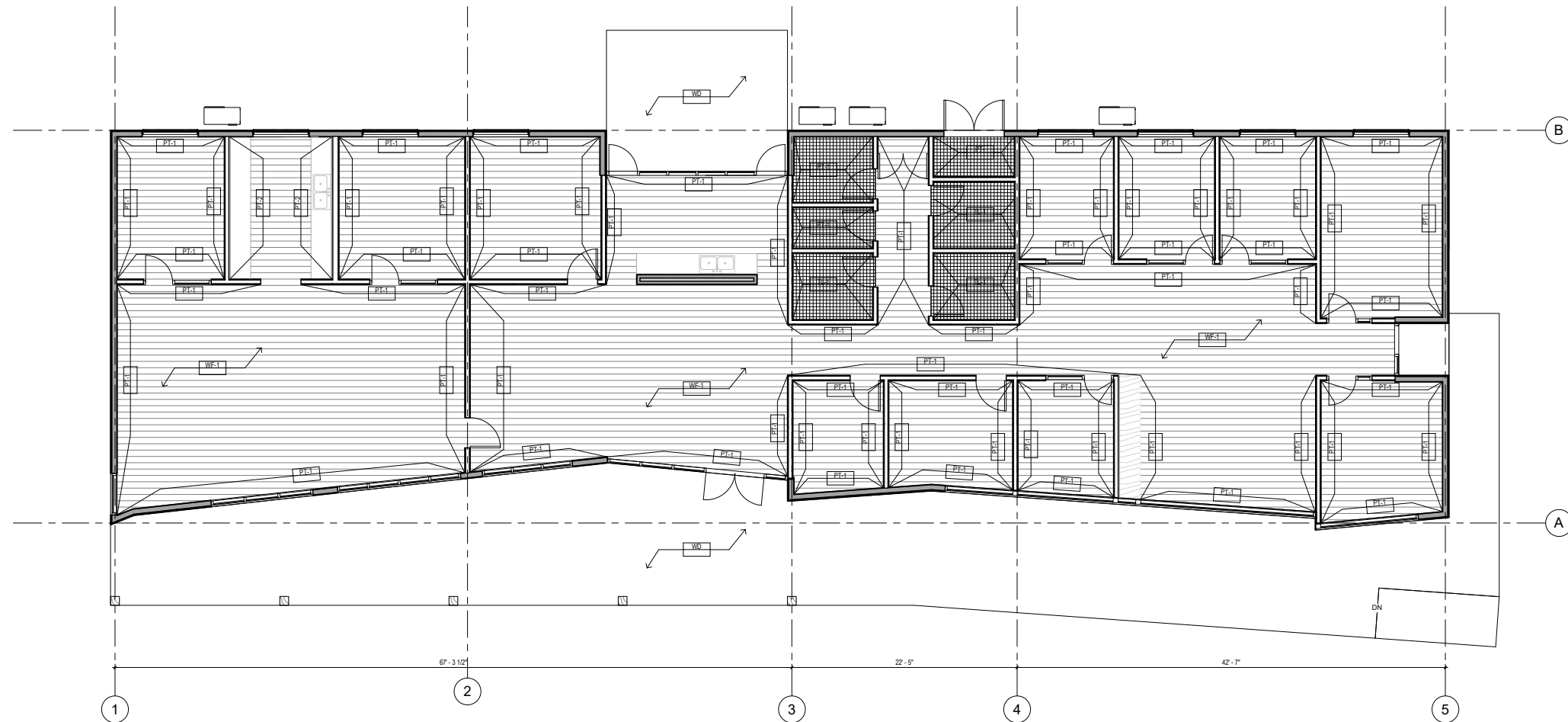
KEYNOTES



PROJECT NORTH

**NOT FOR
CONSTRUCTION**

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064



LEVEL 1 FINISH PLAN

SCALE: 3/16" = 1'-0"



1

LEGEND

- NOT IN CONTRACT / CONSTRUCTION.
- DIMENSION SYMBOL - CONTRACTOR TO REFER TO DIMENSION PLANS FOR ALL CRITICAL MEASUREMENTS.
- FINISH / MATERIAL TAG (TOP HALF = WALL FINISH, BOTTOM HALF = WALL BASE)
- FINISH TAG- MILLWORKS/CASEWORKS

KEYNOTES

| ISSUE NO. | DATE | DESCRIPTION |
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| 2 | 07.28.2022 | CLIP RESUBMITTAL |
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PROJECT NO: CAM21-P1

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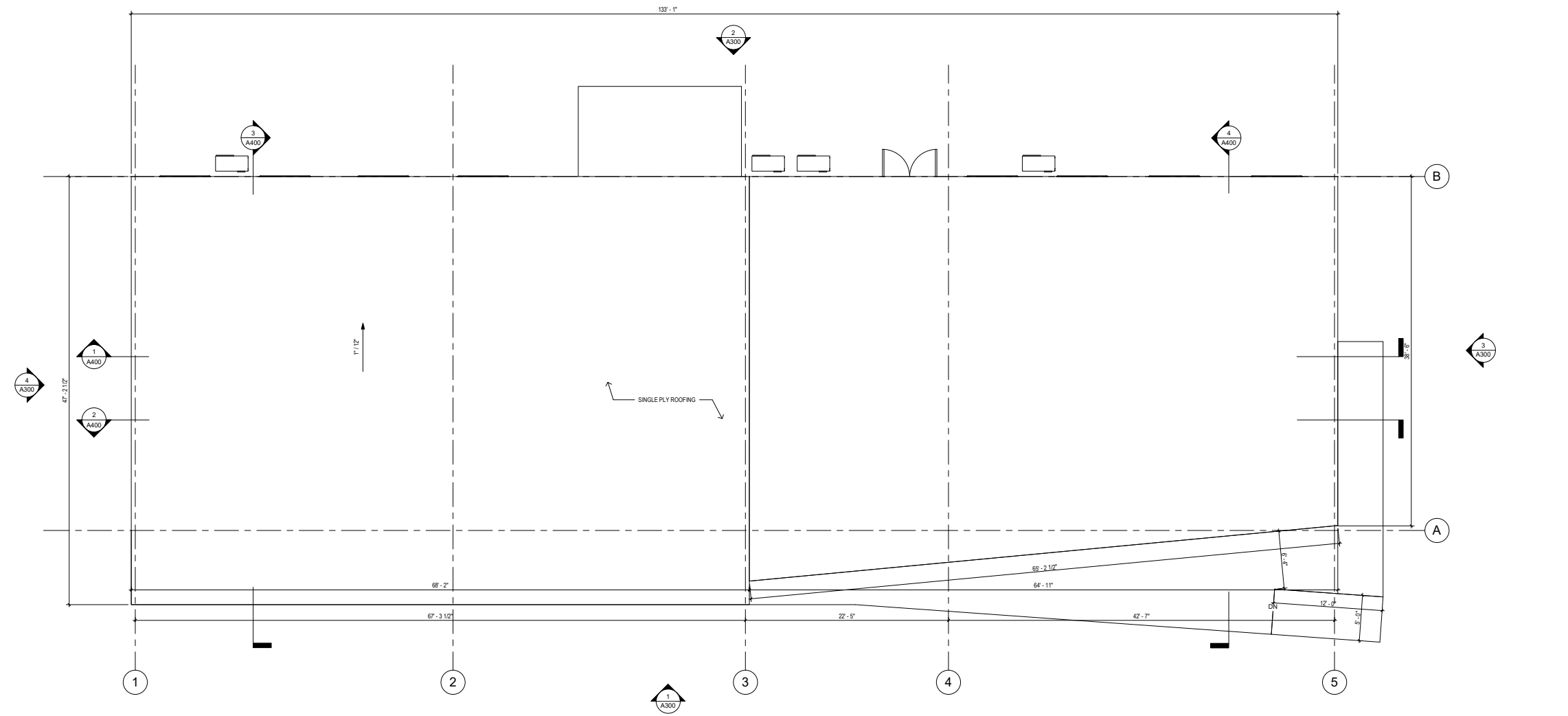
**FIRST FLOOR
FINISH FLOOR
PLAN
A205**



NOT FOR
CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

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ROOF CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0" 1

PROJECT NO: CAM21-P1

ISSUE RECORD

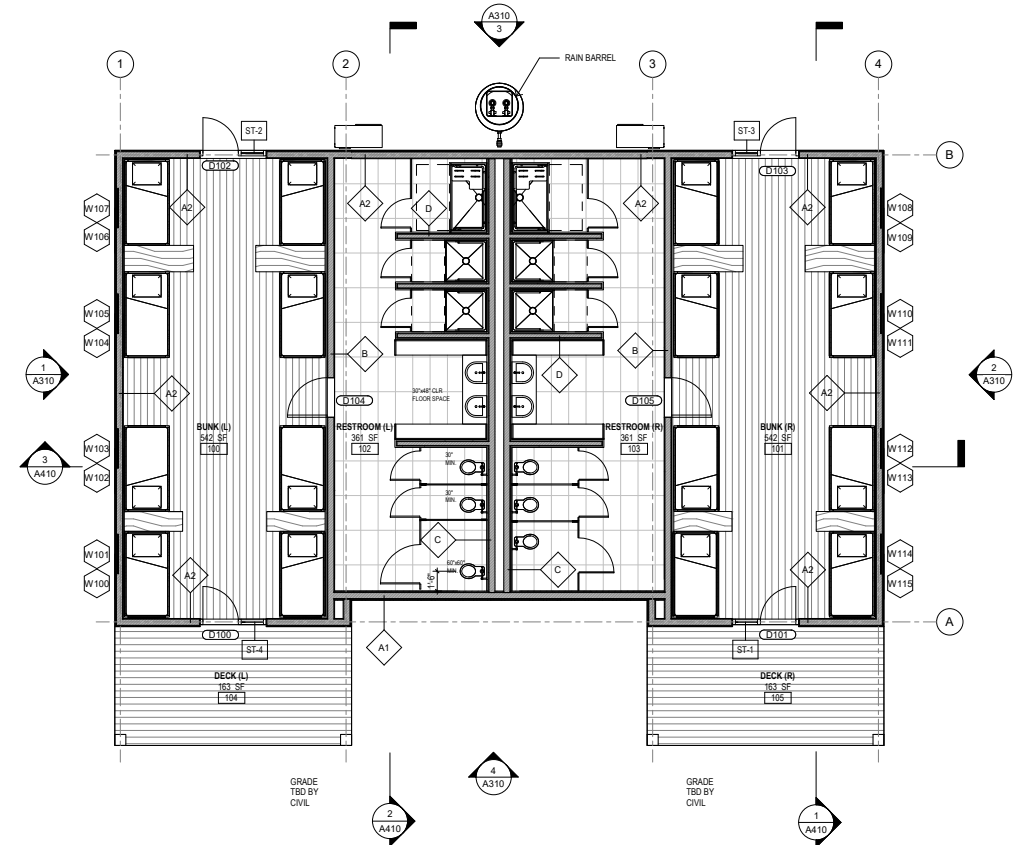
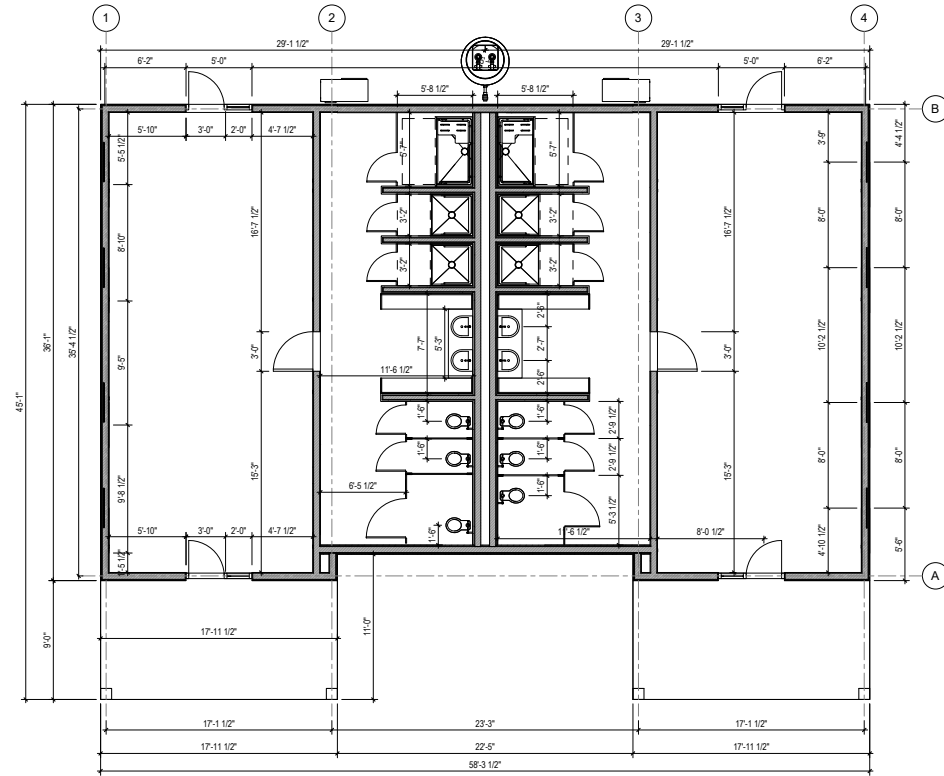
| ISSUE NO. | DATE | DESCRIPTION |
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ROOF
CONSTRUCTION
PLAN
A207

NOT FOR
CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF ABRAMSON ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ABRAMSON ARCHITECTS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



NOTE: ALL BUILDINGS IN SCOPE TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS

LEVEL 1 DIMENSION PLAN
SCALE: 3/16" = 1'-0"

- LEGEND**
- \rightarrow X-X" DIMENSION SYMBOL - STUD TO STUD
 - \rightarrow X-X" DIMENSION SYMBOL - STUD TO FINISH
 - \rightarrow X-X" DIMENSION SYMBOL - FINISH TO FINISH
 - F.O.S. FACE OF STUD
 - F.O.C. FACE OF CONCRETE
 - F.O.M. FACE OF MASONRY
 - F.O.F. FACE OF FINISH (NOTE: MOST DISABLED ACCESS CLEARANCES WILL BE MEASURED FROM FACE OF FINISH/EDGE OR CENTERLINE OF OBJECT, U.N.O.)
 - CL CENTER LINE

LEVEL 1 CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"

- LEGEND**
- [---] NOT IN CONTRACT / CONSTRUCTION.
 - [---] 1 HOUR RATED WALL. SEE WALL TYPES ON A900.
 - [---] 2 HOUR RATED WALL. SEE WALL TYPES ON A900.
 - [---] LANDSCAPED AREAS PER LANDSCAPE ARCHITECTS DRAWINGS
 - [X] EXIT SIGN.
 - [---] AREA DRAIN. REFER TO CIVIL & PLUMBING.
 - [X-X"] DIMENSION SYMBOL - CONTRACTOR TO REFER TO DIMENSION PLANS FOR ALL CRITICAL MEASUREMENTS.
 - [A4] WALL TAG. SEE WALL TYPES ON SHEET A500
 - [D201A] DOOR TAG PER DOOR SCHEDULE. SEE A600
 - [S201] STOREFRONT TAG PER STOREFRONT SCHEDULE. SEE A600
 - [1] WINDOW TAG PER WINDOW SCHEDULE. SEE A600

KEYNOTES

| NO. | KEYNOTE |
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PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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| 03.09.2022 | SD PRICING SET 01 | |
| 07.28.2022 | CLP RESUBMITTAL | |
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FIRST FLOOR
CONSTRUCTION &
DIMENSION PLAN
A210



NOT FOR
CONSTRUCTION

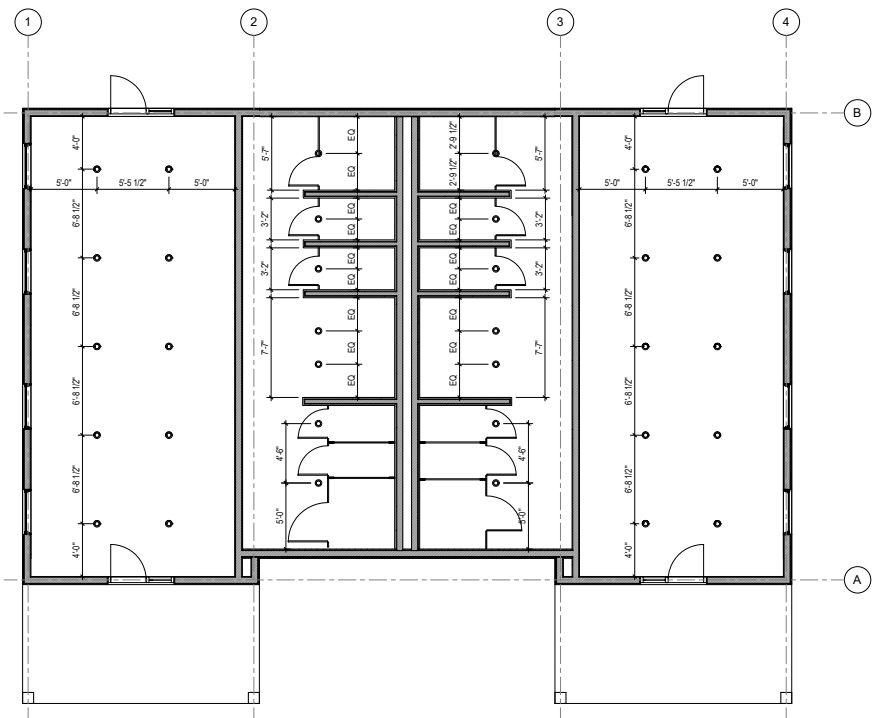
CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

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PROJECT NO: CAM21-P1

| ISSUE RECORD | | |
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| ISSUE NO. | DATE | DESCRIPTION |
| | 07.28.2022 | CLIP RESUBMITTAL |
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FIRST FLOOR SLAB
PLAN & REFLECTED
CEILING PLAN
A211

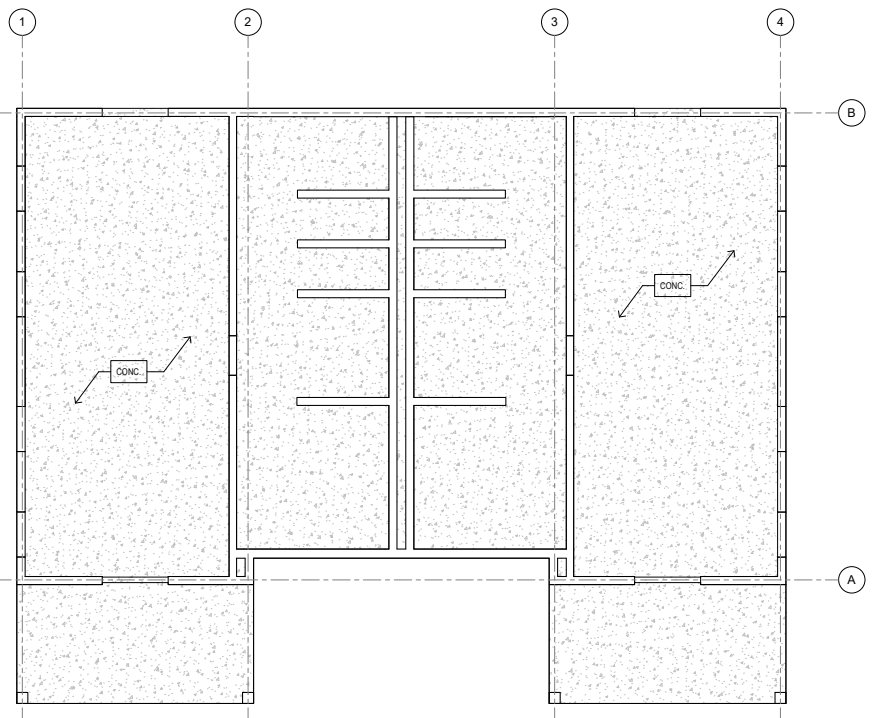


LEVEL 1 REFLECTED CEILING PLAN

SCALE: 3/16" = 1'-0"

2

- LEGEND**
- LIGHTING FIXTURE, RECESSED LAMP- ROUND-LED 4"
 - X-X' DIMENSION SYMBOL - CONTRACTOR TO REFER TO DIMENSION PLANS FOR ALL CRITICAL MEASUREMENTS.



LEVEL 1 SLAB PLAN

SCALE: 3/16" = 1'-0"

1

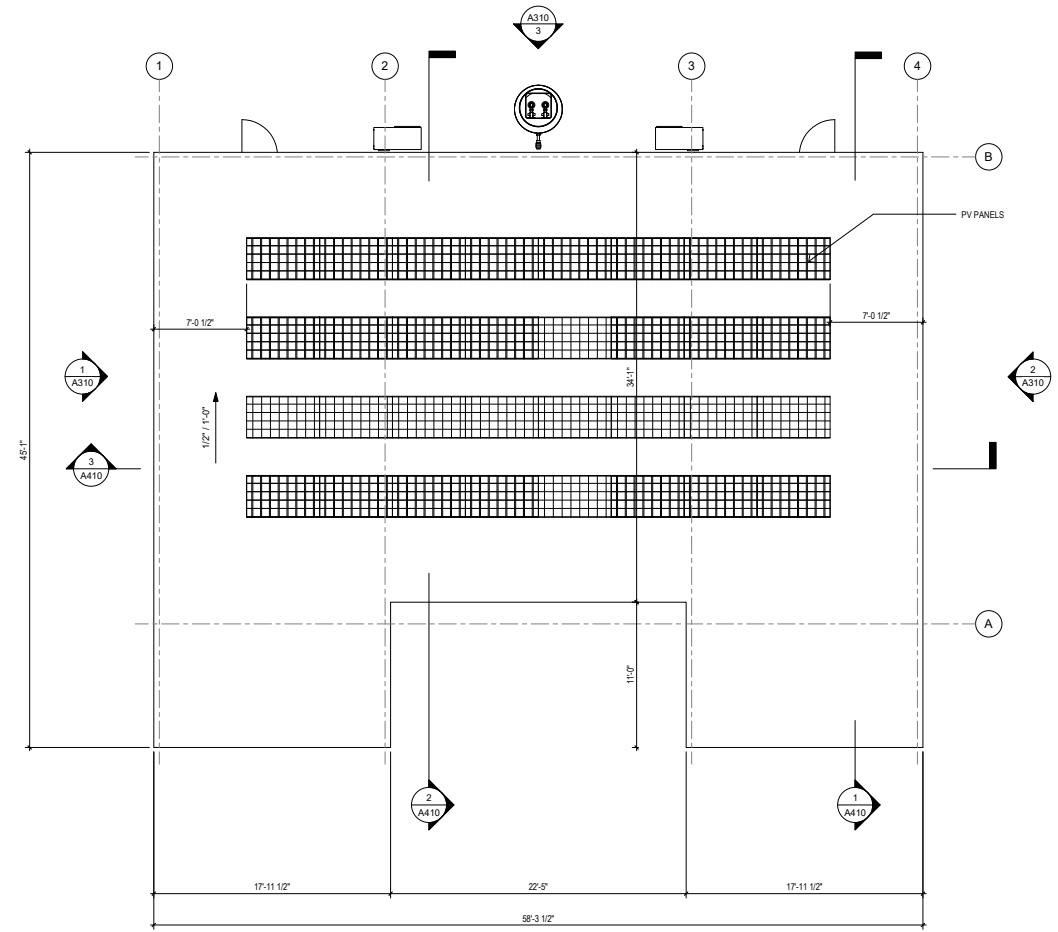
- LEGEND**
- CONCRETE SLAB / COMPOSITE DECK PER STRUCTURAL.
 - 1 HOUR RATED WALL. SEE WALL TYPES ON A900.
 - 2 HOUR RATED WALL. SEE WALL TYPES ON A900.
 - DIAGRAMMATIC LOCATION OF SHEAR WALL. CONTRACTOR MUST REFERENCE AND INSTALL SHEAR AND OTHER STRUCTURAL WALLS AND COMPONENTS PER THE STRUCTURAL DRAWINGS ONLY.
 - DEPRESSION IN SLAB/FLOOR PER STRUCTURAL.
 - SPOT ELEVATION
 - EMERGENCY DRAIN
 - FLOOR DRAIN
 - ROOF DRAIN

KEYNOTES

B:\1360\CAM21-P1\Camp Alonim\CAM21-P1 CAMPER CABIN Cloud.rvt 8/1/2022 3:31:59 PM

NOT FOR
CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064



ROOF CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"

2

LEGEND

- NOT IN CONTRACT / CONSTRUCTION.
- ← X'-X" → DIMENSION SYMBOL -CONTRACTOR TO REFER TO DIMENSION PLANS FOR ALL CRITICAL MEASUREMENTS.
- FINISH / MATERIAL TAG (TOP HALF = WALL FINISH, BOTTOM HALF = WALL BASE)
- WALS OF BUILDING BELOW
- ▾ SLOPE % ROOF SLOPE AND DIRECTION
- 4" GUTTER
- ▨ WOOD DECK BELOW
- SOLAR PANELS
- ▽ LANDSCAPED AREAS PER LANDSCAPE ARCHITECT'S DRAWINGS

KEYNOTES

PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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| 07 | 28-2022 | CLIP RESUBMITTAL |
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ROOF CONSTRUCTION PLAN
A213

NOT FOR CONSTRUCTION

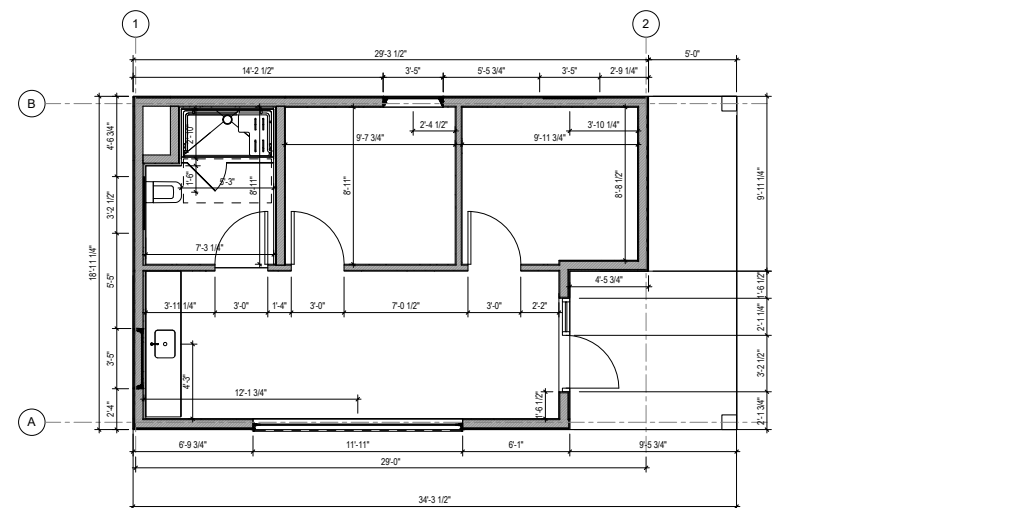
CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

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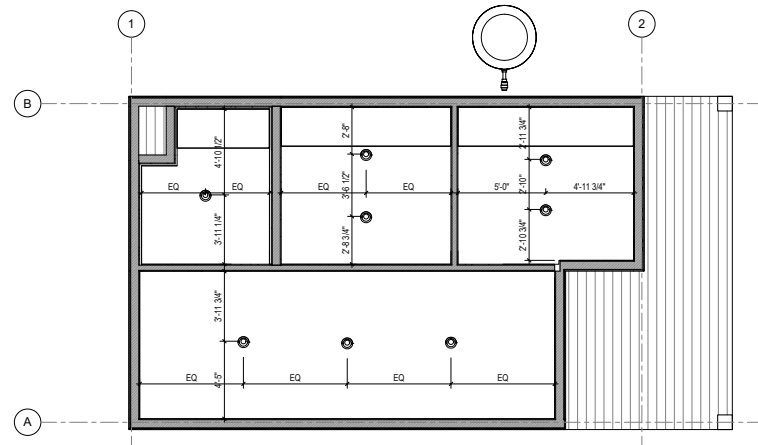
PROJECT NO: CAM21-P1

| ISSUE RECORD | | |
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| ISSUE NO. | DATE | DESCRIPTION |
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| | 07/28/2022 | CLP RESUBMITTAL |
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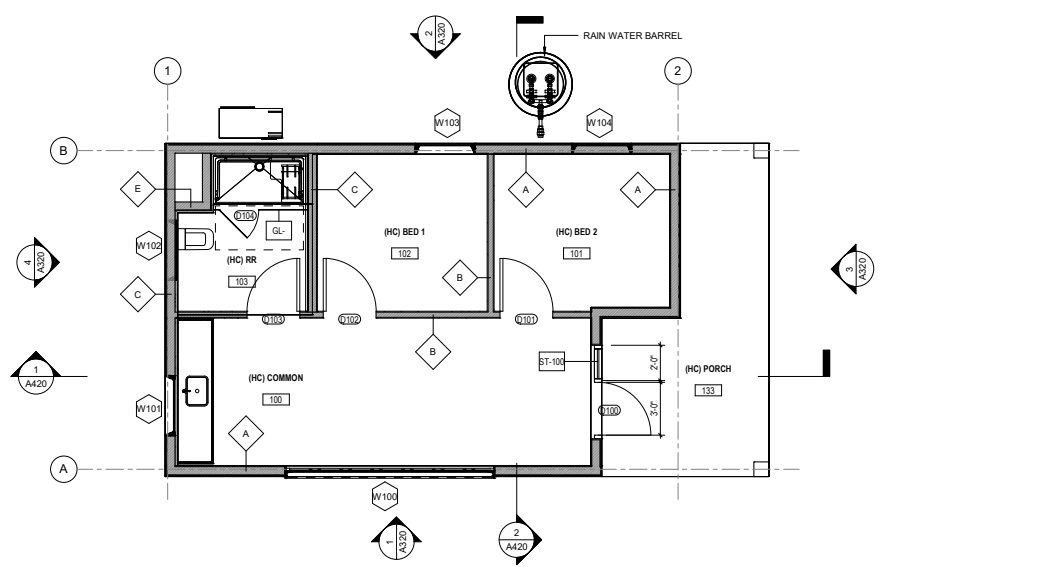
FIRST FLOOR CONSTRUCTION PLAN, DIMENSION PLAN, SLAB PLAN & RCP A220



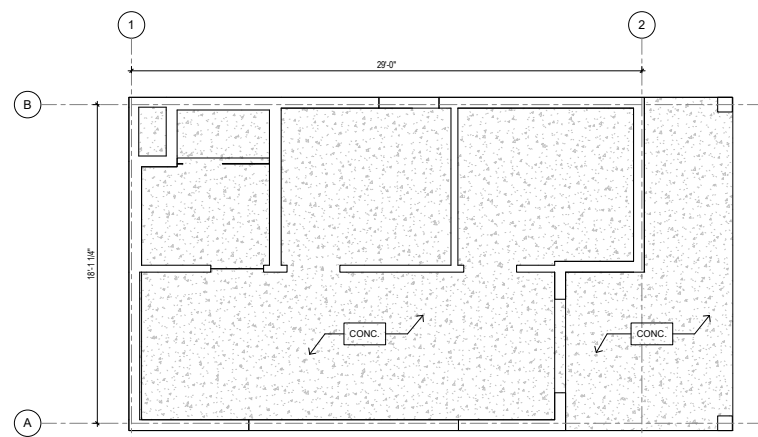
LEVEL 1 DIMENSION PLAN
SCALE: 1/4" = 1'-0"



LEVEL 1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



LEVEL 1 CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"



LEVEL 1 SLAB PLAN
SCALE: 1/4" = 1'-0"

NOTE: ALL BUILDINGS IN SCOPE TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS

| LEGEND | |
|--------|--|
| | NOT IN CONTRACT / CONSTRUCTION. |
| | 1 HOUR RATED WALL. SEE WALL TYPES ON A600. |
| | 2 HOUR RATED WALL. SEE WALL TYPES ON A600. |
| | LANDSCAPED AREAS PER LANDSCAPE ARCHITECT'S DRAWINGS |
| | STEPPED SLAB / DEPRESSION. |
| | EXIT SIGN. |
| | AREA DRAIN. REFER TO CIVIL & PLUMBING. |
| | DIMENSION SYMBOL - CONTRACTOR TO REFER TO DIMENSION PLANS FOR ALL CRITICAL MEASUREMENTS. |
| | WALL TAG. SEE WALL TYPES ON SHEET A500 |
| | DOOR TAG PER DOOR SCHEDULE. SEE A600 |
| | STOREFRONT TAG PER STOREFRONT SCHEDULE. SEE A600 |
| | WINDOW TAG PER WINDOW SCHEDULE. SEE A600 |

KEYNOTES



ABRAMSON ARCHITECTS

5171 WEST JEFFERSON BLVD., LOS ANGELES, CA 90016
TEL: 310.838.8998 WWW.ABRAMSONARCHITECTS.COM

NOT FOR CONSTRUCTION

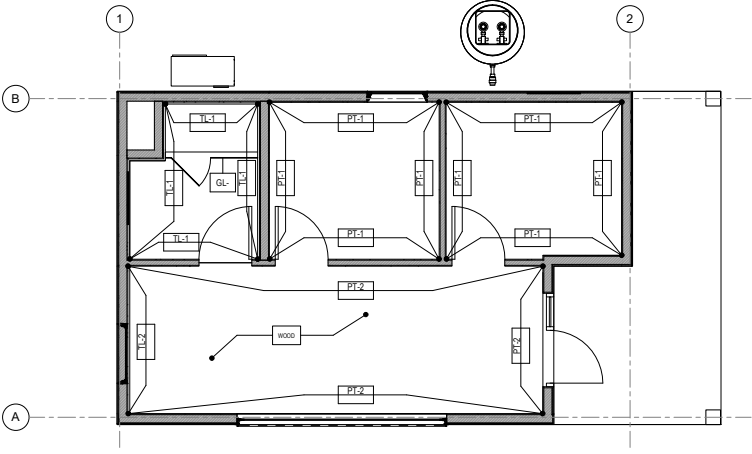
CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

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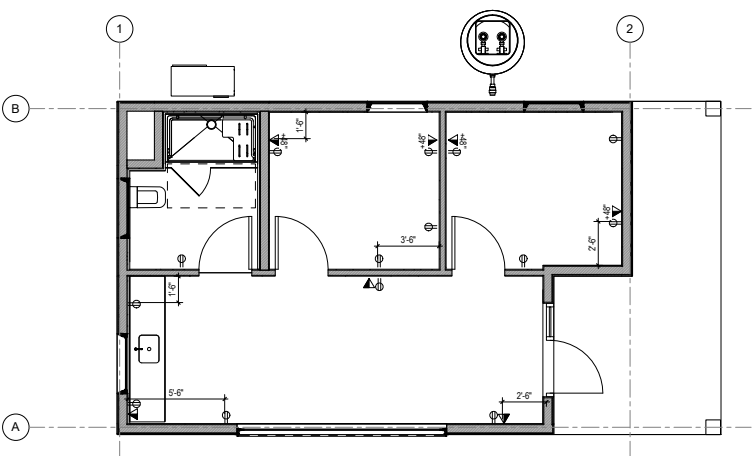
PROJECT NO: CAM21-P1

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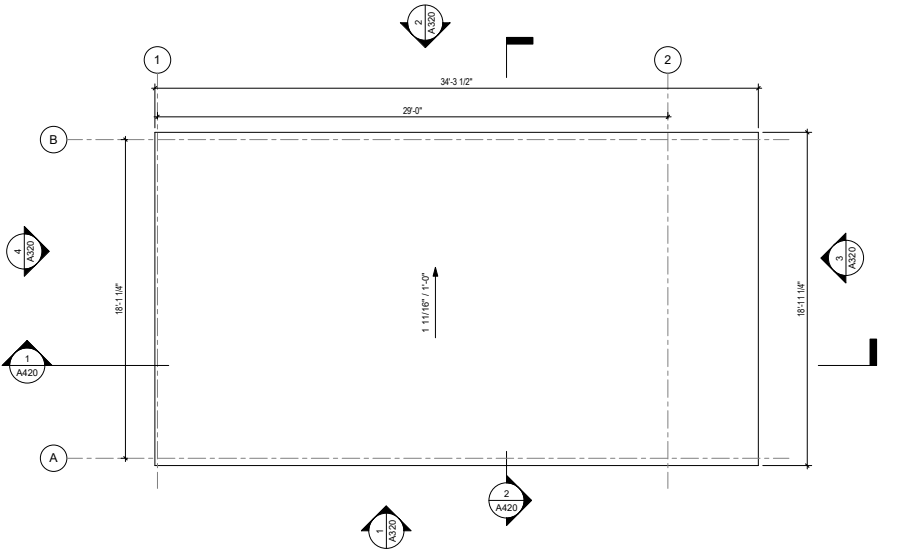
FIRST FLOOR POWER PLAN, FINISH PLAN AND ROOF PLAN
A221



LEVEL 1 FINISH PLAN
SCALE: 1/8" = 1'-0"



LEVEL 1 POWER TELE DATA PLAN
SCALE: 1/8" = 1'-0"



LEVEL 1 ROOF PLAN
SCALE: 1/8" = 1'-0"

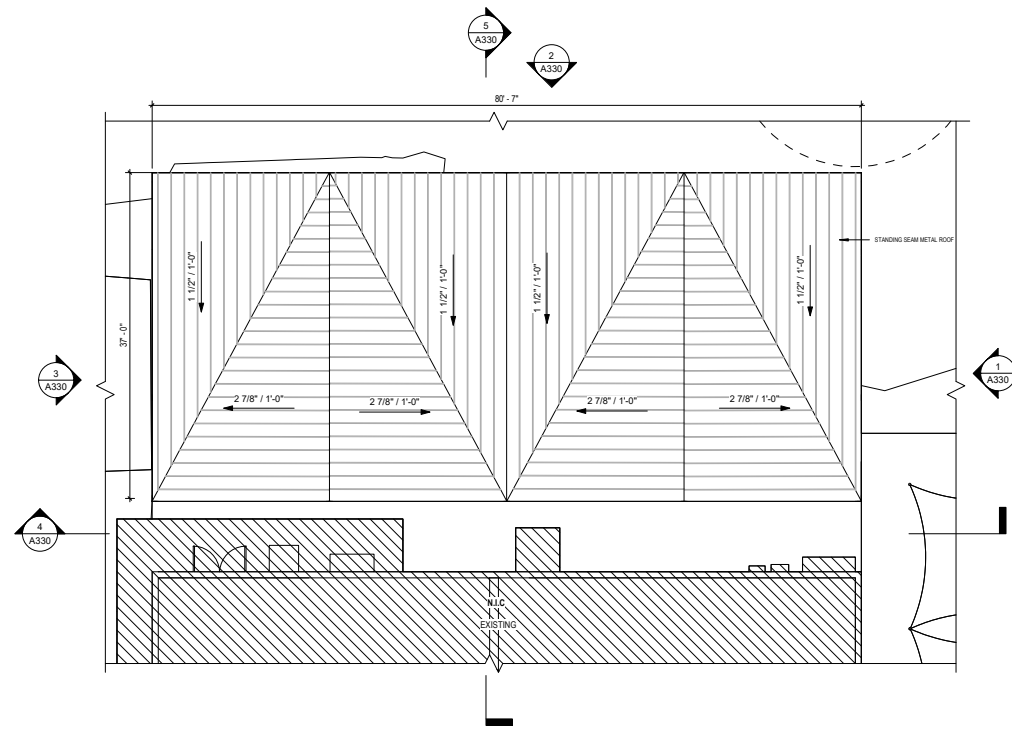
- LEGEND**
- [NOT IN CONTRACT / CONSTRUCTION]
 - X-X" DIMENSION SYMBOL - CONTRACTOR TO REFER TO DIMENSION PLANS FOR ALL CRITICAL MEASUREMENTS.
 - PL-1 FINISH / MATERIAL TAG (TOP HALF = WALL FINISH, BOTTOM HALF = WALL BASE)
 - C-1 FINISH TAG- CABINETS & CASEWORKS
 - ⚡ OUTLET SINGLE 18" PER ELECTRICAL.
 - T TELEDATA PER ELECTRICAL.
 - LIGHTING FIXTURE, RECESSED LAMP- ROUND- LED 4"
 - ⊗ EXIT SIGN.

KEYNOTES

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8/7/2022 2:56:54 PM BIM 360://CAM21-P1 Camp Alonim/CAM21-P1 Central/RV721.rvt

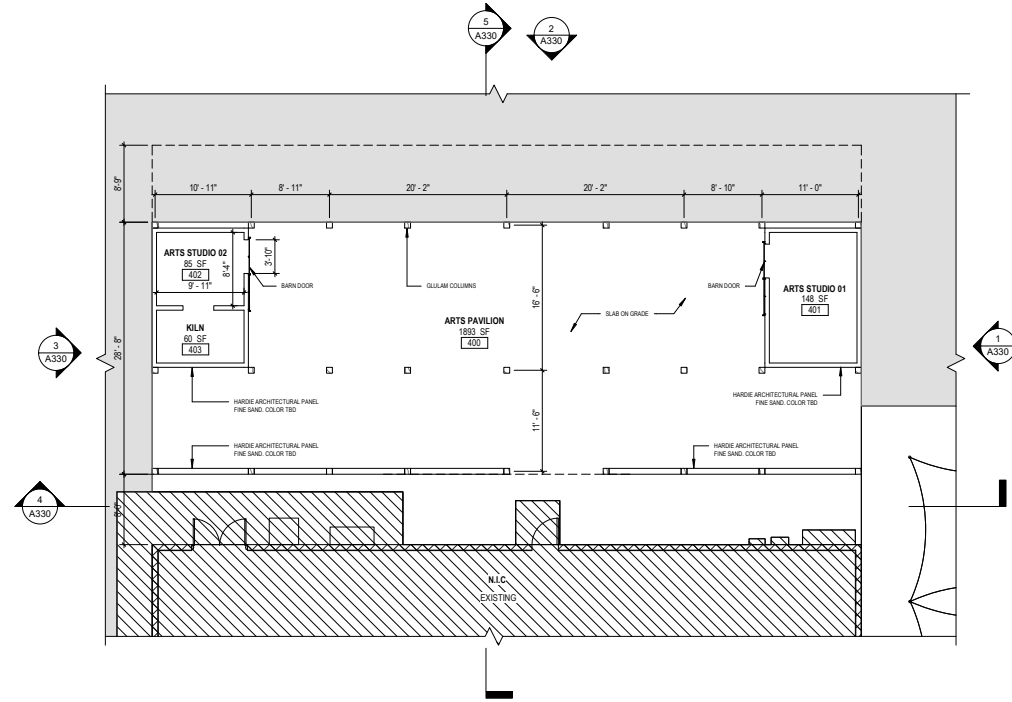
NOTE: ALL BUILDINGS IN SCOPE TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS



ARTS BUILDING ROOF

SCALE: 1/8" = 1'-0"

2



ARTS BUILDING

SCALE: 1/8" = 1'-0"

1

KEYNOTES



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CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

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PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
|-----------|------------|------------------|
| | 02/08/2021 | SD PRICING SET 1 |
| | 07/27/2022 | CLP RESUBMITTAL |
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ARTS BUILDING
PAVILION FLOOR PLAN
& ROOF PLAN

A230

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CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064

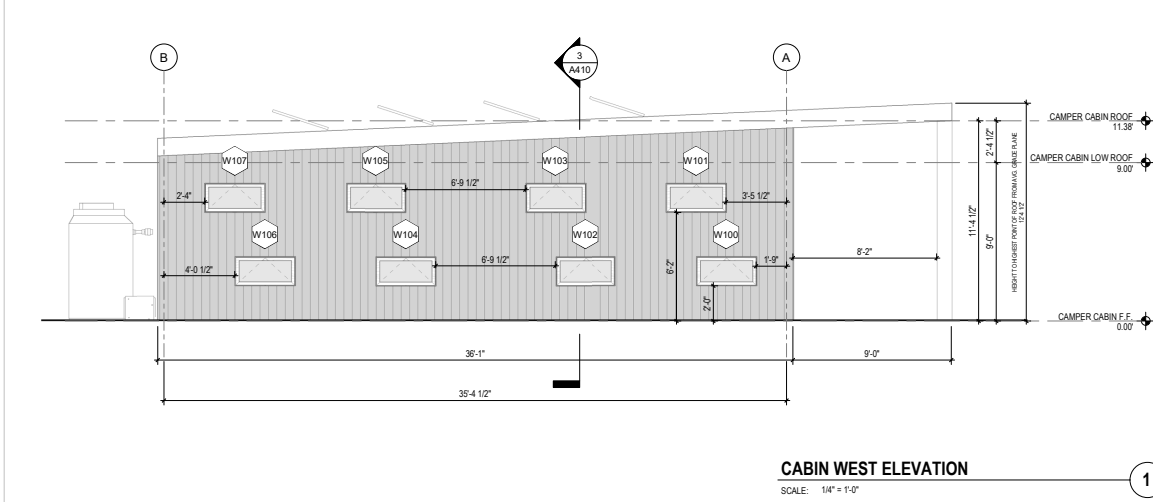
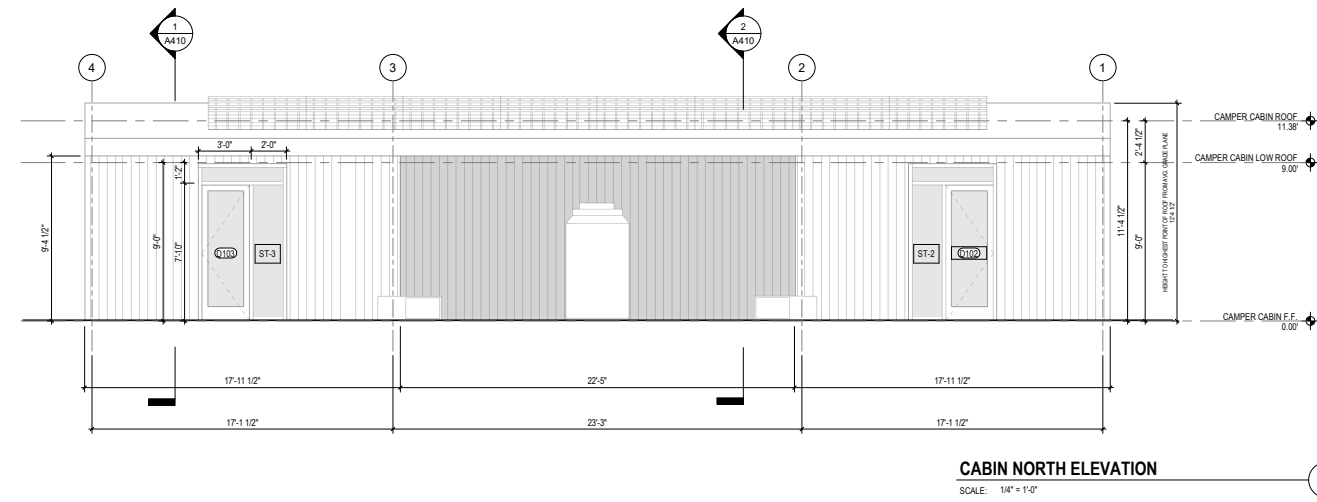
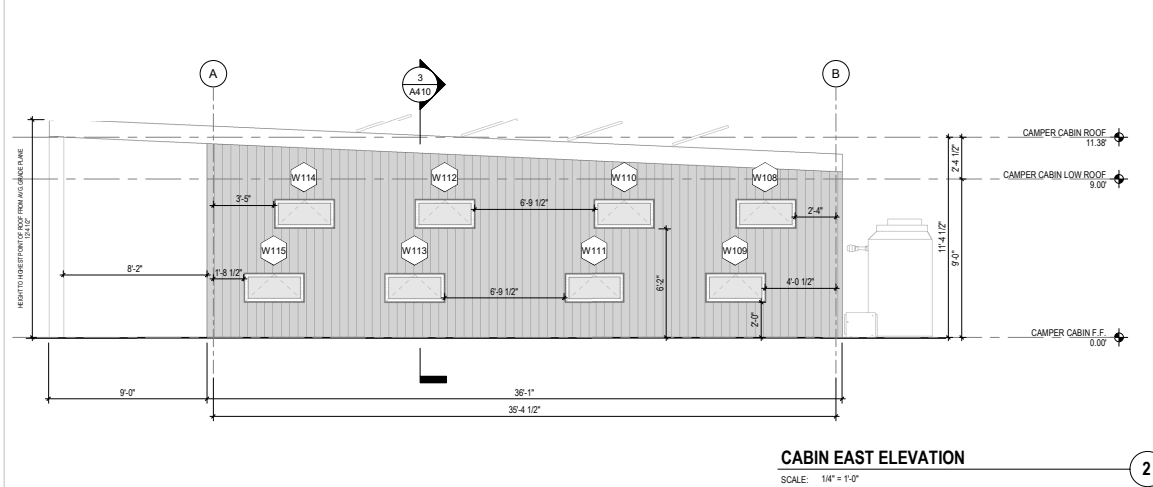
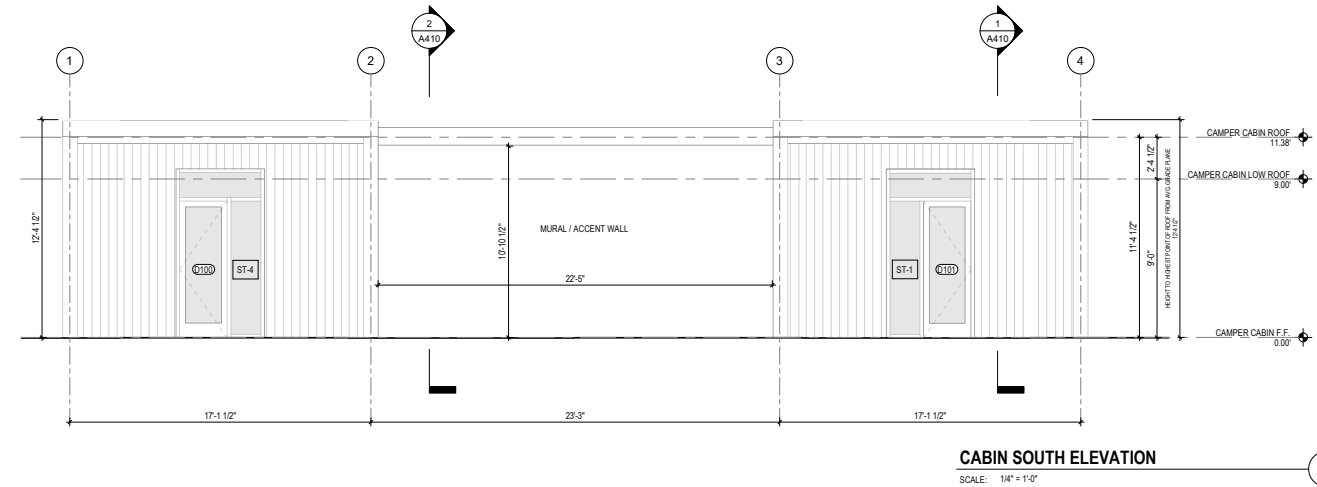
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF ABRAMSON ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ABRAMSON ARCHITECTS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

PROJECT NO: CAM21-P1

| ISSUE RECORD | | |
|--------------|------------|-------------------|
| ISSUE NO. | DATE | DESCRIPTION |
| 02 | 09/20/2022 | SD PRICING SET 01 |
| 07 | 28/2022 | CLP RESUBMITTAL |
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EXTERIOR
ELEVATIONS

A310



KEYNOTES

NOTE: ALL BUILDINGS IN SCOPE TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS

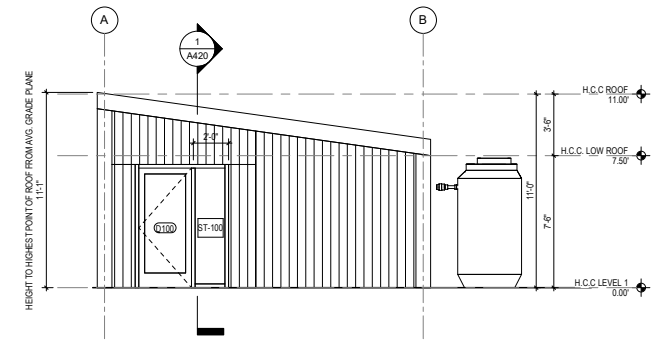


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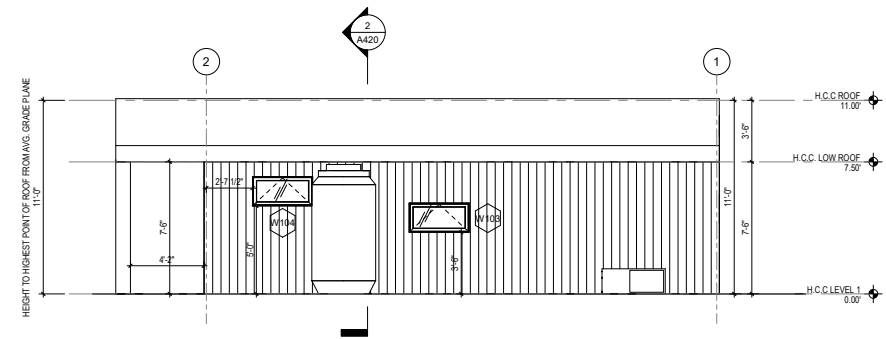
CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064



ELEVATION EAST HC CABIN

SCALE: 1/4" = 1'-0"

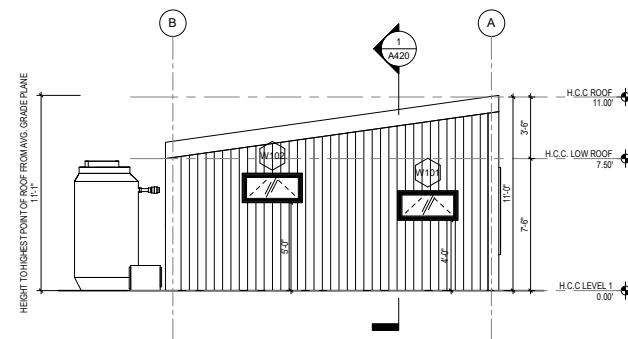
3



ELEVATION NORTH HC CABIN

SCALE: 1/4" = 1'-0"

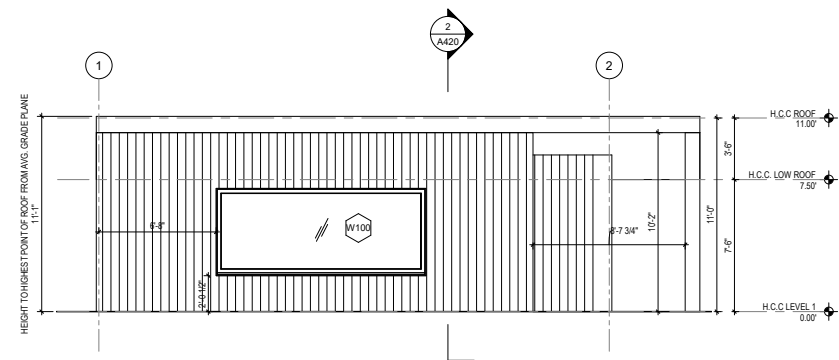
2



ELEVATION WEST HC CABIN

SCALE: 1/4" = 1'-0"

4



ELEVATION SOUTH HC CABIN

SCALE: 1/4" = 1'-0"

1

KEYNOTES

PROJECT NO: CAM21-P1

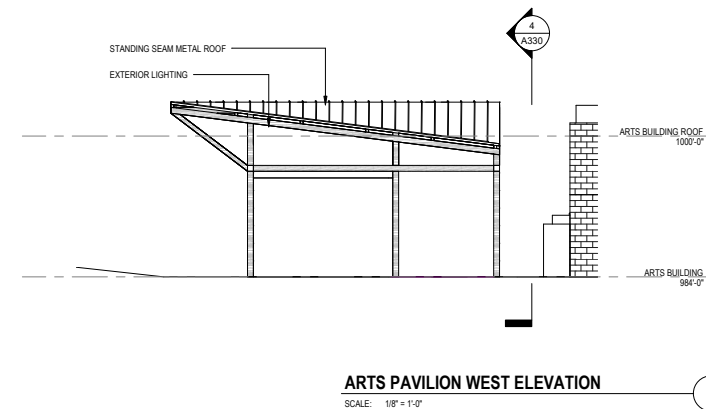
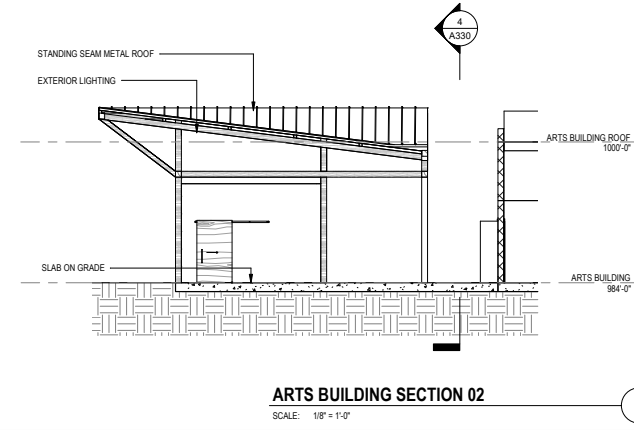
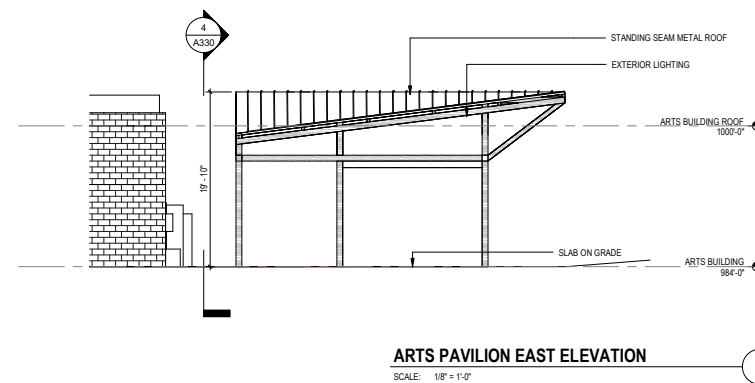
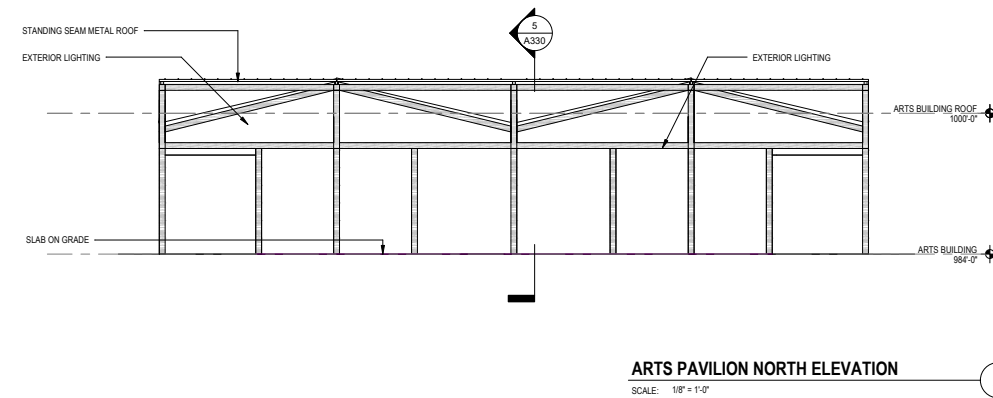
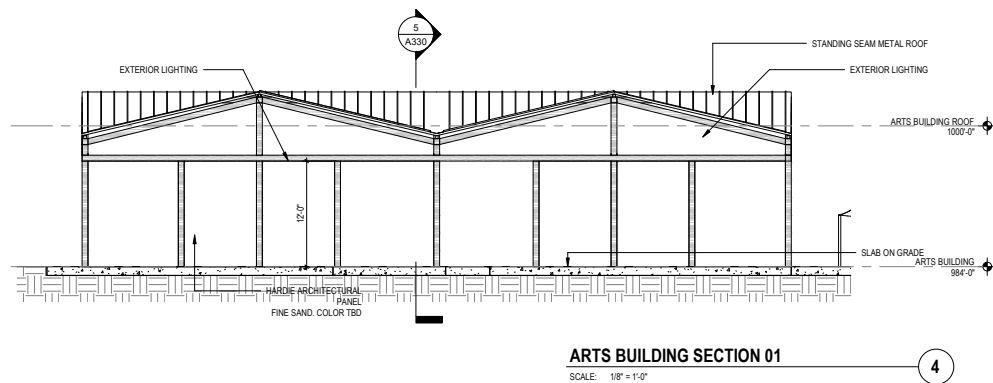
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| 07.28.2022 | 07.28.2022 | CLIP RESUBMITTAL |
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EXTERIOR ELEVATIONS
A320



NOTE: ALL BUILDINGS IN SCOPE TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS



KEYNOTES

KEYNOTES



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CAMP ALONIM
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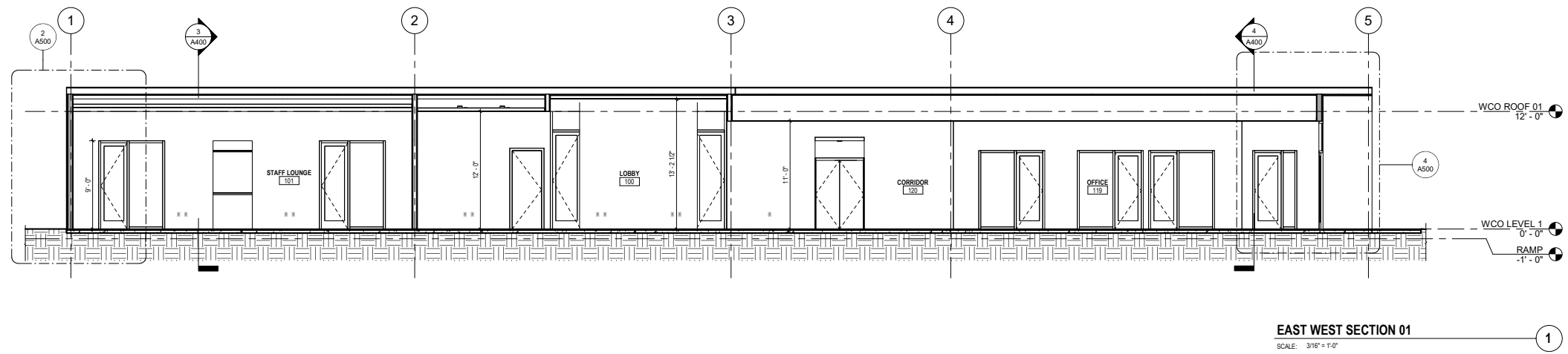
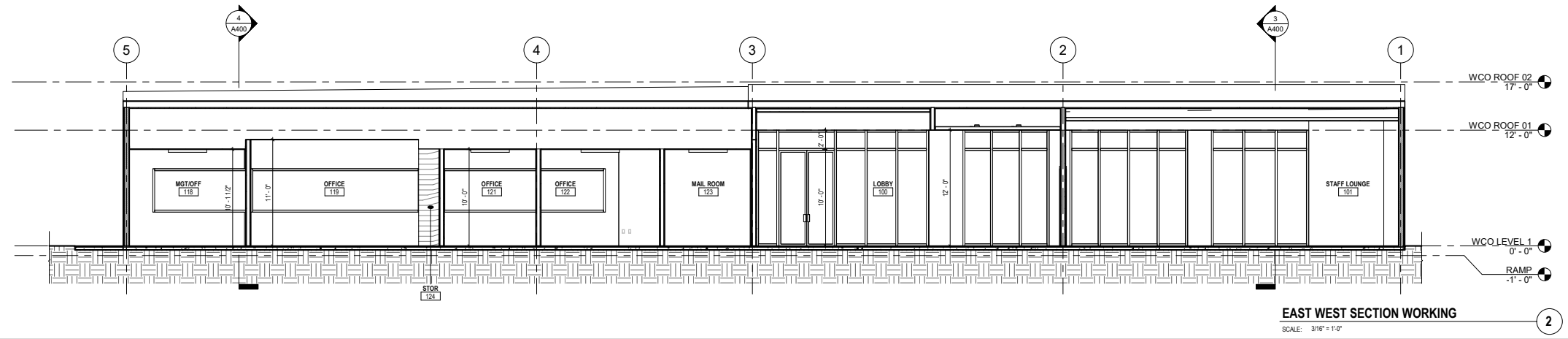
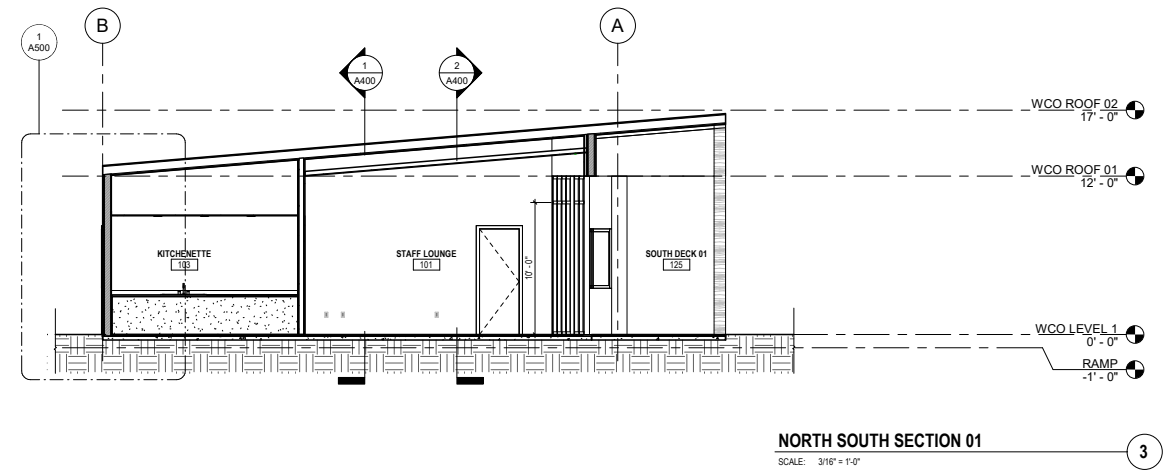
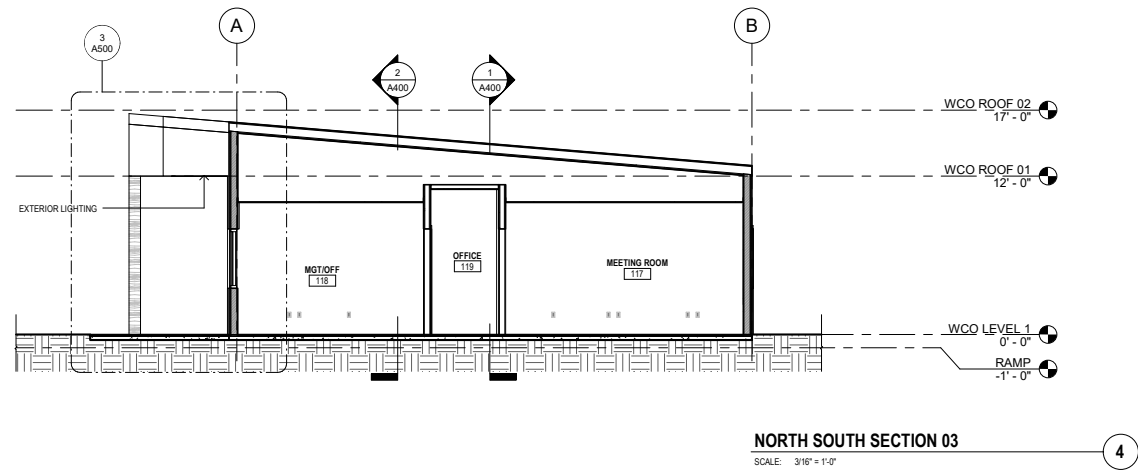
PROJECT NO: CAM21-P1

ISSUE RECORD

| ISSUE NO. | DATE | DESCRIPTION |
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| 02 | 08/2021 | SD PRICING SET 1 |
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ARTS BUILDING
PAVILION ELEVATIONS
& SECTIONS
A330

NOT FOR CONSTRUCTION



KEYNOTES

PROJECT NO: CAM21-P1

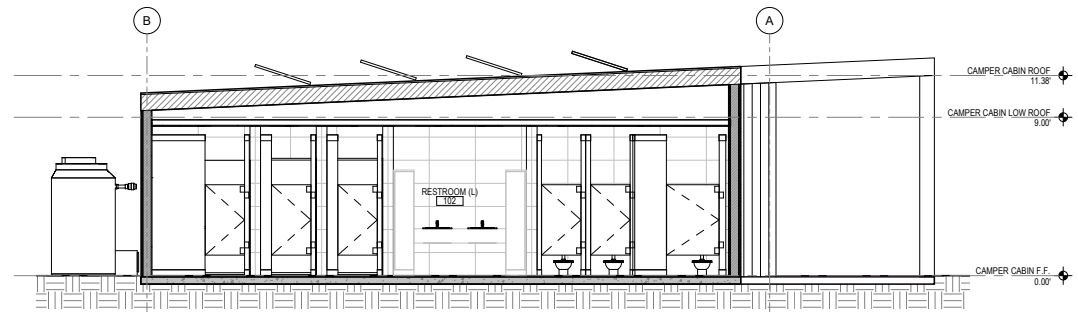
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BUILDING SECTIONS
A400



NOT FOR CONSTRUCTION

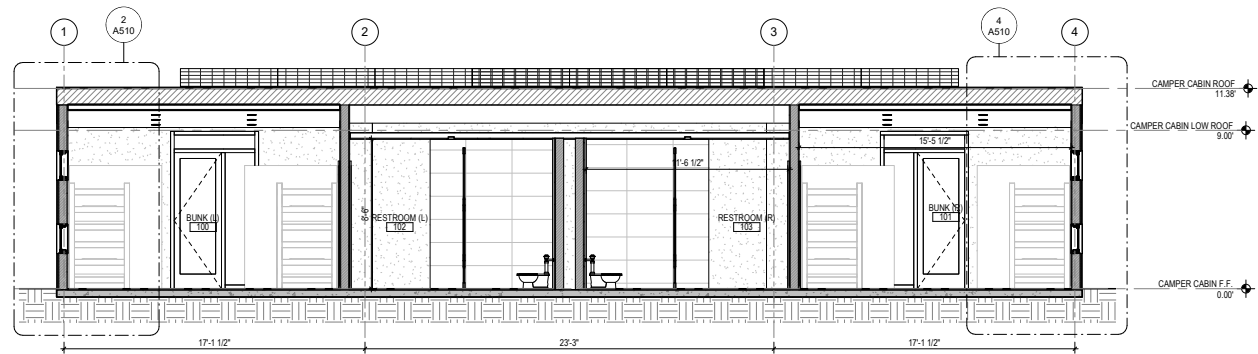
CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064



NORTH SOUTH SECTION @ RESTROOMS

SCALE: 1/4" = 1'-0"

2

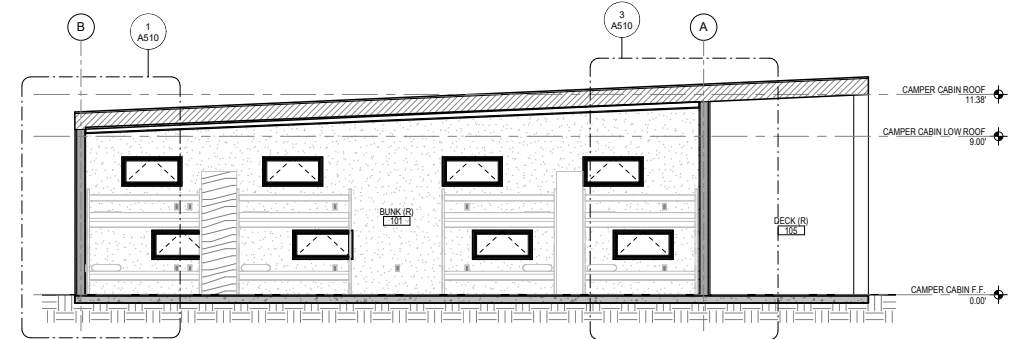


EAST WEST SECTION

SCALE: 1/4" = 1'-0"

3

NOTE: ALL BUILDINGS IN SCOPE TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS



NORTH SOUTH SECTION @ BUNKS

SCALE: 1/4" = 1'-0"

1

KEYNOTES

PROJECT NO: CAM21-P1

ISSUE RECORD

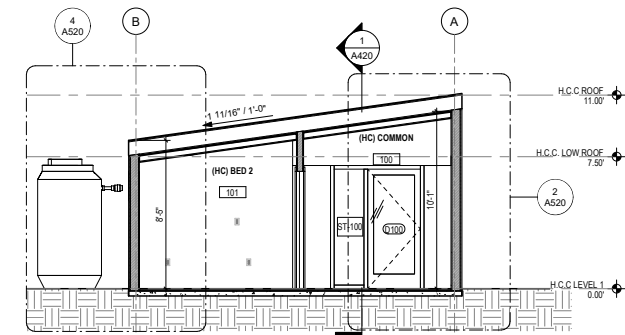
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| 02 | 09/20/2022 | SD PRICING SET 01 |
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BUILDING SECTIONS

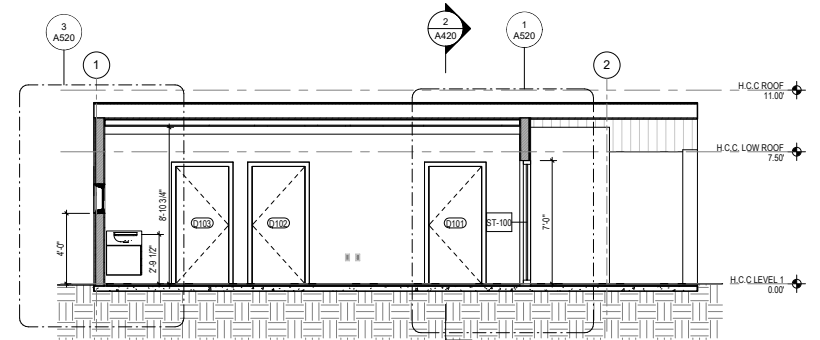
A410

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CONSTRUCTION

CAMP ALONIM
1101 PEPPER TREE LN, BRANDEIS, CA 93064



SECTION @ COMMON ROOM AND BED ROOM 2
SCALE: 1/4" = 1'-0"



SECTION @ COMMON ROOM 1
SCALE: 1/4" = 1'-0"

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BUILDING SECTIONS

A420